M

**GENERAL** 

- 1. LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDING PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

  2. REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A S. 2870-1996

  3. ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS & FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN

### & FOOTINGS **CONCRETE SLABS**

- 1. ALL CONCRETE TO HAVE A STRENGTH OF 20MPa
  2. ALL SLAB, BEAM & FOOTING CONCRETE.
  REINFORCEMENT TO BE IN ACCORDANCE WITH
  RELEVANT AUSTRALIAN STANDARDS A S. 2870.1-1996.
  3. LAPPING & SUPPORT OF REINFORCEMENT TO BE IN
  ACCORDANCE WITH RELEVANT AUSTRALIAN
  STANDARDS AS NOTED ABOVE.
  4. ALLOWABLE BEARING PRESSURE OF SOIL:
  UNDER STRIP OR PAD FOOTINGS 100 kPa
  UNDER SLABS OR BEAMS 50 kPa
  UNDER SLABS OR BEAMS 50 kPa
  5. POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF
  200mm AT JOINT'S & SHALL BE TAPPED AROUND PIPES
  WHICH PENETRATE THE SLAB.
  6. TOP SOIL CONTAINING ORGANIC MATTER SHALL BE
  REMOVED FROM THE SURROUNDING AREA.

## WINDOWS & DOORS

## ROOF STRUCTURE

- ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PAYEL. CEILING BATTENS TO BE 25mm "TOP HAT" SECTION. ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN. REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS.

### WALL FRAMING

- 1. FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.
  2. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.
  3. WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SOCIETY.

08/	04/	O	
03/07	12/06	ATE	
PRELIMINARY PLAN COMPLETED.	SKETCH PLAN	AMENDMENTS	
1 TO SALES	1 TO SALES	COPIES	
		SKETCH PLAN PRELIMINARY PLAN COMPLETED.	E AMENDMENTS  SKETCH PLAN  PRELIMINARY PLAN COMPLETED.

TBM NAIL IN BITUME

### **LOT 13** PROPOSED RESIDENCE FFL 101.18 Approx. FOR "CLASS M" WAFFLE POD BREEZE-WAY **EXISTING CHURCH** PROPOSED RESIDENCE FFI TID 84 Approx. FOR CLASS WARFLE POD CONNECT STORMWATER -TO EXISTING CHURCH STORMWATER SYSTEM **CAR PARK** LOT 1 5171sqm **BOGONG AVENUE CAR PARK** EXISTING 1.79M PALING FENCE REFER TO PART SITE PON PAGE 2 P.O.S , 12° 50' 12° ROAD m28.11 180°20' m35.35m

### KINGSMAY

## SCALE 1:500

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS.

### LEGEND

- 90mm DIA. PVC STORMWATER PIPE AGRICULTURAL DRAIN WITH SILT PIT 100mm DIA. UPVC SEWER PIPE
- METER BOX POSITION
- EXTERNAL TAP
- NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERFLOW RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE.	MODIFIED GORTON 250	AREA GROUND FLOOR: 131.40m² GARAGE: 37.65m² GARAGE: 381m² PORCH: 3.81m² PERGOLA: 3.05m2	S 240mm PECIFIED. S 90mm PECIFIED.
(Signed)Date/20			
(Signed)Date/20		SOUTHDOWN AVENUE	SOUTH
set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00		13M NUMATIVE STORMWATER POINT	, met
I / We agree that these are our final plans		99.000	8
		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	,

### 91 Montague Street, G.KING Homes Melbourne

South Melbourne, Vic, 3205 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE: N
ALPINE AREA:

- Copyright 2007 JG King Pty. Ltd. YES/NO YES/NO YES/NO N1/N2/N3

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED. ??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: FIRST FLOOR: TOTAL: SITE AREA SITE COVERAGE: N N

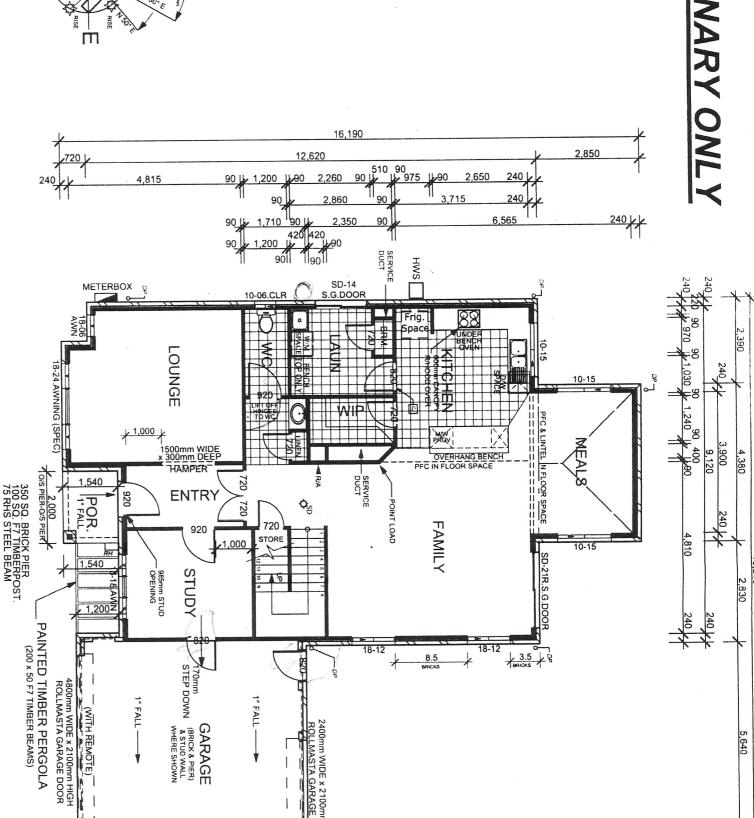
294.86m²  $\mathbb{R}$ 

CONITINEDITAR

**GLEN WAVERLEY** 

DATE: 08/03/2007 JOB NO: M608155 SHEET NO:





90 1,155 90 930 90

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

OCATION OF MANHOLE TO BE CONFIRMED BY UILDING SUPERVISOR IN CONJUNCTION TO LACEMENT OF CENTRAL HEATING UNIT.

IRS TO BE CONSTRUCTED AS BELOW: AD WIDTH: 250mm ER WIDTH: 173.75mm

R WIDTH: 173.75mm

RAIL TO STAIR TO BE 865mm MIN.

RE NOSING OF TREADS, 1000mm MIN.

E LANDINGS. PROVIDE BALUSTRADING

HAT A 125mm Ø SPHERE MAY NOT

THROUGH ANY PART OF IT.

16,190

240

BRICKWORK OVER ALL OPENINGS TO GROUND FLOOR THAT ARE NOT UNDER EAVE. PLINTH STRETCHER BRICKS TO FRONT DOOR THRESHOLD.

6,000 6,450

EGEND

TILE
- CONSTRUCTION
JOINT

240

DOWNPIPES TO BE PROVIDED AT 1 PER 60m2 OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX, EXCLUDING BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALLA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

(RAY DECK SHEET ROOFING @ 1° PITCH STEEL TRUSSES @ 900 CTRS. MAX. O GARAGE & ENTRY PORCH

ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

CERAMIC TILED AREA'S SHOWN SUPPLIED AND INSTALLED BY BUILDER. CLASSIC INCLUSIONS TO RESIDENCE

BALANCE OF FLOOR COVERINGS BY OWNER.

CERAMIC TILED AREA'S SHOWN SUPPLIED AND INSTALLED BY BUILDER. BALANCE OF FLOOR COVERINGS BY OWNER.

5,690

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES. (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS)
THERMALLY IMPROVED

450mm EAVE FROM BRICKWORK TO FIRST FLOOR 500mm EAVE FROM HARDIPLANK TO FIRST FLOOR NO EAVES TO GROUND FLOOR

AREA GROUND FLOOR: GARAGE: **SCALE 1:100** MODIFIED

08/03/07 04/12/06 DATE

PRELIMINARY PLAN COMPLETED

1 TO SALES 1 TO SALES COPIES

GROUND FLOOR

AZ

90 840 800

1,720 90

3,000

5,550

6,015

3,620

91 Montague Street,

.G.KING Homes Melbourne

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE: N
ALPINE AREA:

YES/NO YES/NO YES/NO N1/N2/N3 NO

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED

131.40m²
37.65m²
3.81m²
3.05m2
118.95m²
294.86m²

**GORTON 250** 

South Melbourne, Vic, 3205

Ph. (03) 9686 3344 Fax. (03) 9686 3355

- Copyright 2007 JG King Pty. Ltd

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

SITE AREA SITE COVERAGE:

DRAWN:

R

CHECKED

OFFICE USE ONLY

SKETCH PLAN

AMENDMENTS

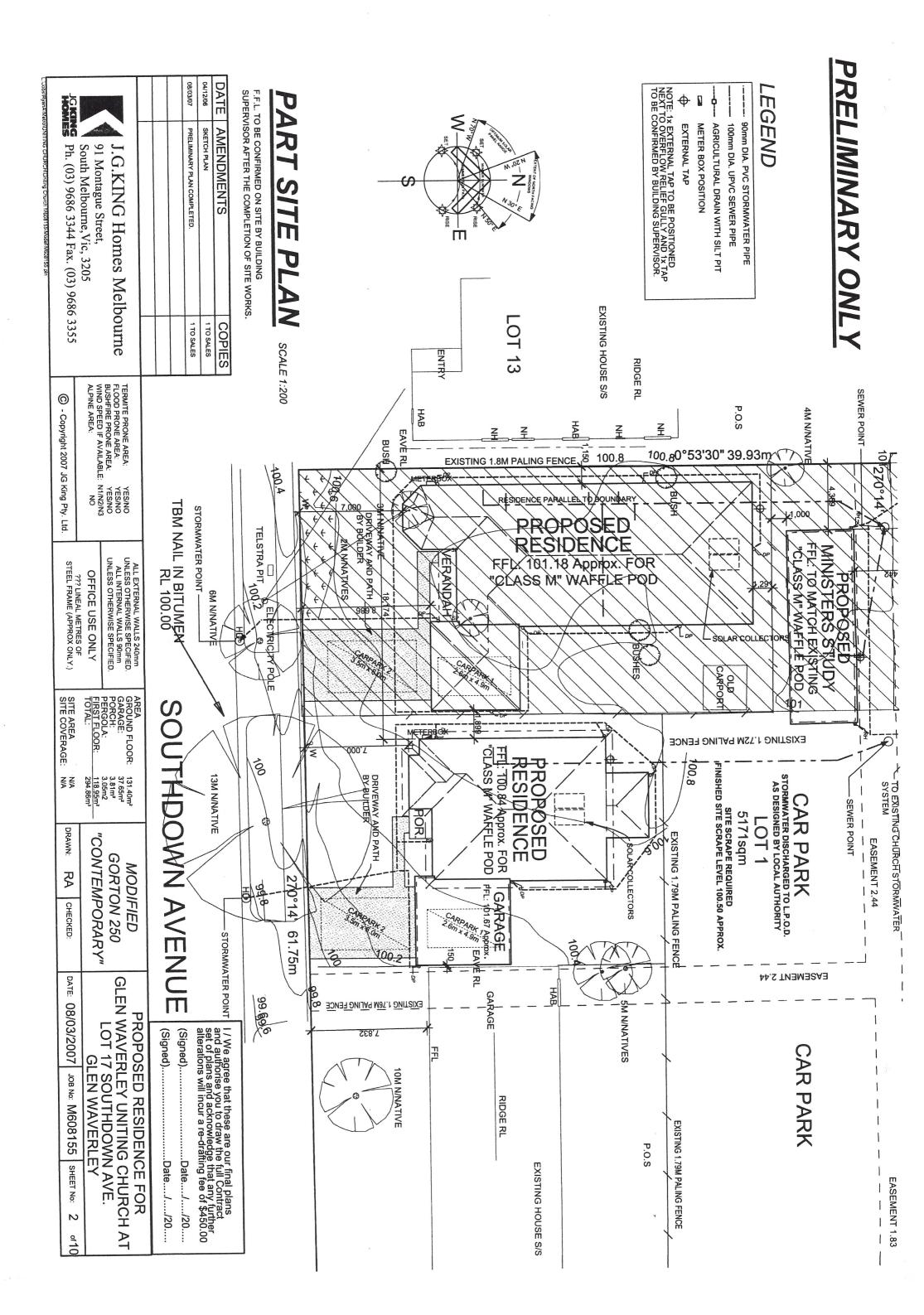
I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00 (Signed)......Date...../20..... (Signed)...../20.....

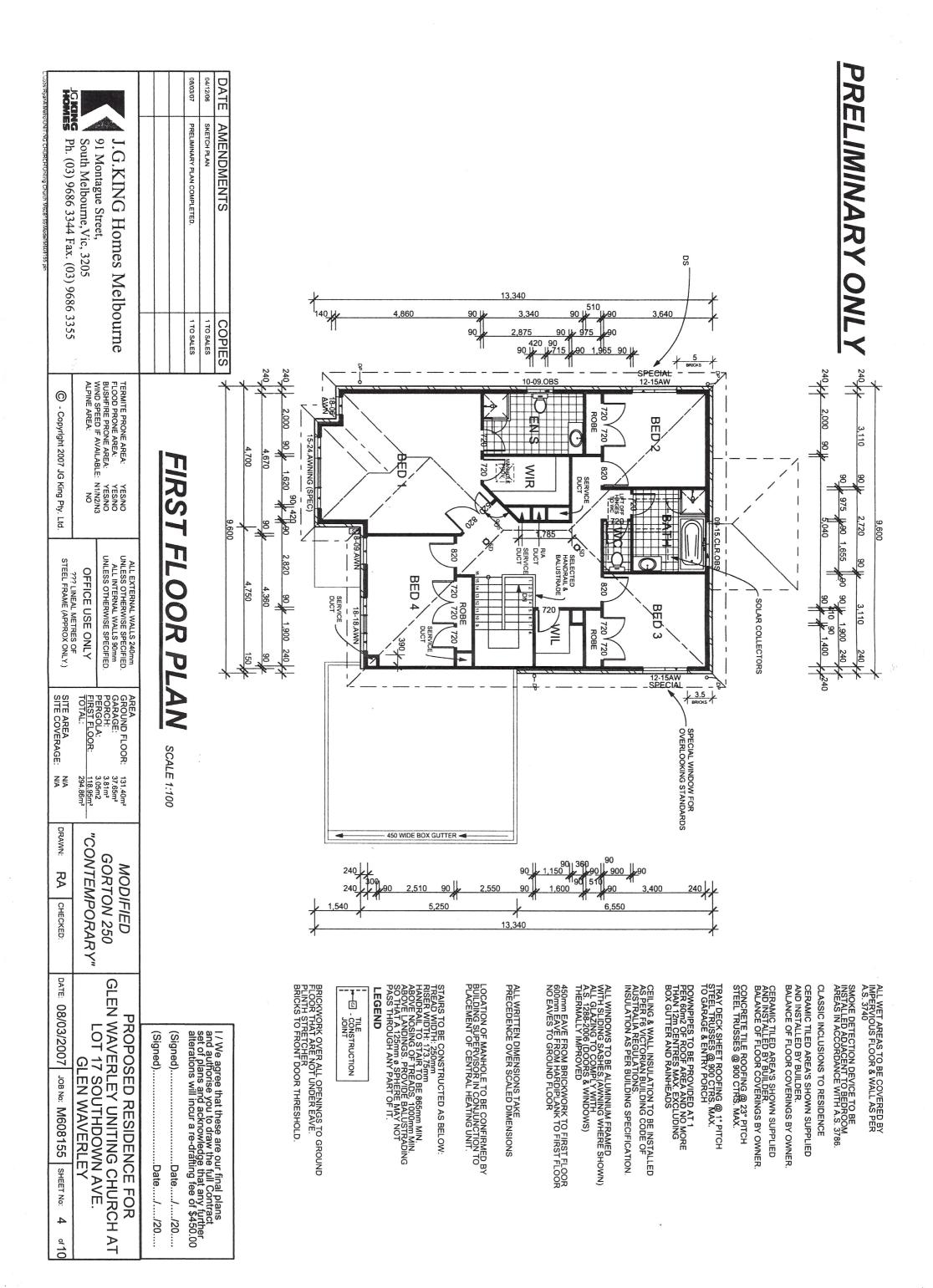
PROPOSED RESIDENCE FOR

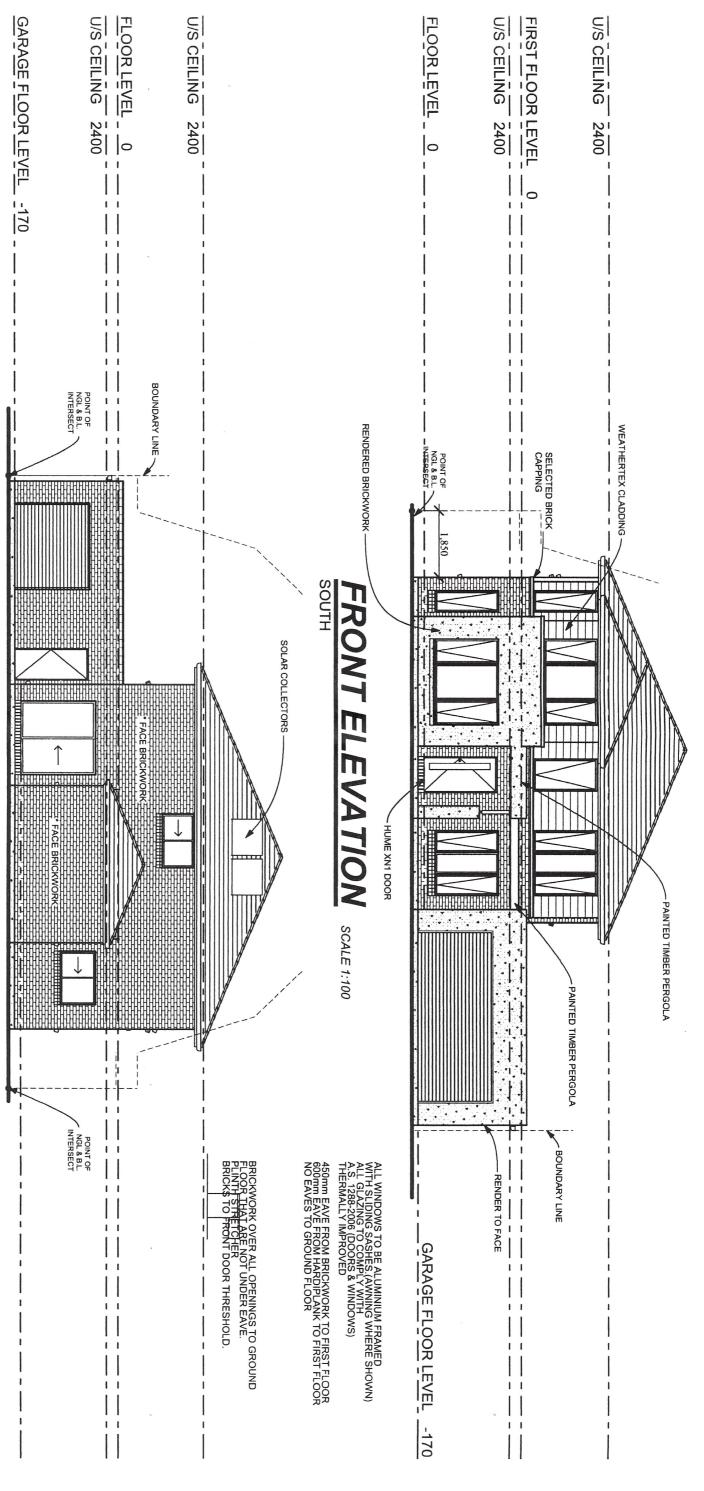
GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

"CONTEMPORARY" DATE 08/03/2007 JOB NO: M608155 SHEET No: ယ

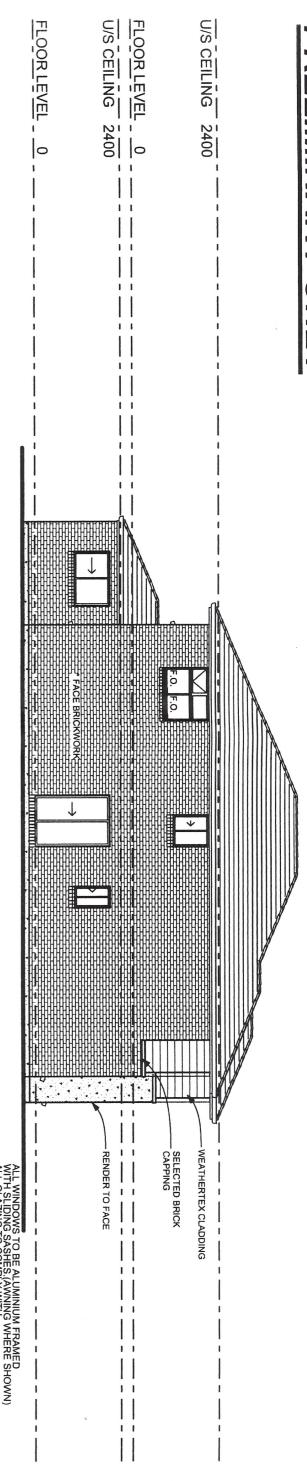
of 10





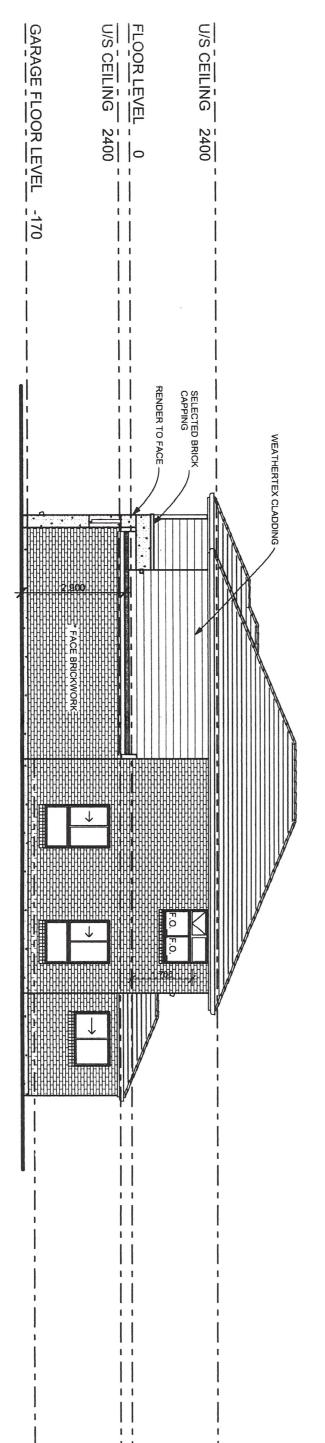


HOMIES Pn.		J.C				08/03/07 PRELIMINAS	04/12/06 SKETCH PLAN	DATE   AMENDMENTS
Ph. (U3) 9686 3344 Fax. (U3) 9686 3333	South Melbourne, Vic, 3205	J.G.KING Homes Melbourne				PRELIMINARY PLAN COMPLETED.	AN	DMENTS
3333		ourne				1 TO SALES	1 TO SALES	COPIES
C - Copyright 2007 JG King Pty. Ltd.	ALPINE AREA: NO	TERMITE PRONE AREA: YES/NO FLOOD PRONE AREA: YES/NO BUSHFIRE PRONE AREA: YES/NO WIND SPEED IF AVAIL ABLE: N1/N2/N3				NORTH	スロメスロ	
STEEL FRAME (APPROX ONLY.)	OFFICE USE ONLY	ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED					ニーロイムこうへ	
SITE AREA N/A SITE COVERAGE: N/A	OR.	AREA GROUND FLOOR: 131.40m² GARAGE: 37.65m² PORCH: 3.81m² PERGOI A: 3.05m²				•	SCALE 1:100	
DRAWN: RA	"CONTE	MOL GORT						
CHECKED:	"CONTEMPORARY"	MODIFIED GORTON 250						
DATE: 08/03/2007	- -	GLEN WAVE	(0)91101	(Signed	(Signed	alteration	and aut	I / We a
DATE: 08/03/2007 JOB No: M608155 SHEET NO: 5 of 10	GLEN WAVERLEY	PROPOSED RESIDENCE FOR  WAVERLEY UNITING CHURCH AT		(Signed) Date / /20	(Signed)/20	ons will incur a re-drafting	and authorise you to draw the full Contract set of plans and acknowledge that any further	gree that these are our
HEET No: 5 of 10		E FOR CHURCH AT		ate / /20	ate/20	g fee of \$450.00	ull Contract	final plans

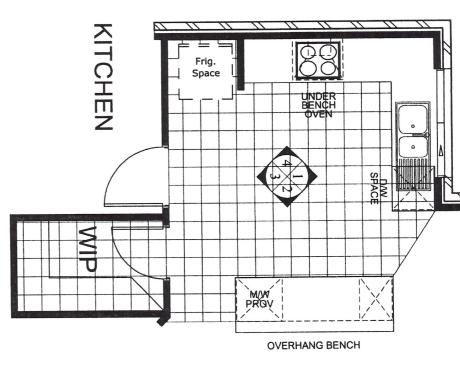


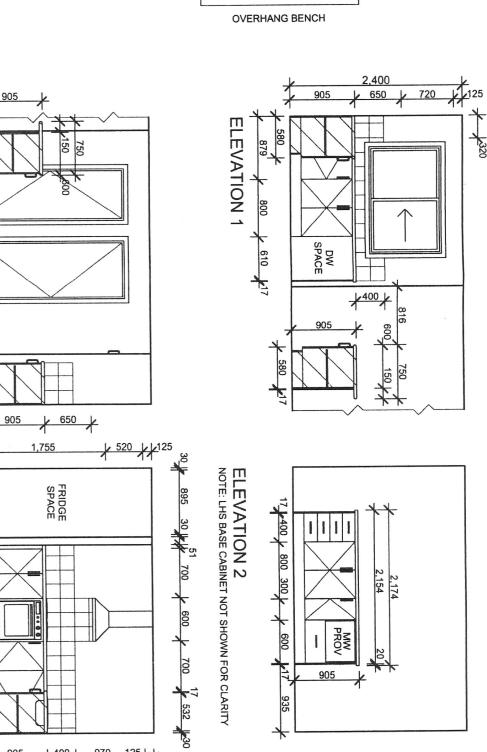
LEFT ELEVATION SCALE 1:100

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.(AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS) THERMALLY IMPROVED 450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDIPLANK TO FIRST FLOOR NO EAVES TO GROUND FLOOR



DATE: 08/03/2007 JOB NO: M608155 SHEET NO: 6 of 10	DATE: 08/0	DRAWN: RA CHECKED:	SITE AREA NA SITE COVERAGE: NA	STEEL FRAME (APPROX ONLY.)	C - Copyright 2007 JG King Pty. Ltd.	HOWIES Ph. (03) 9686 3344 Fax. (03) 9686 3355	<b>T</b>
GLEN WAVERLEY		"CONTEMPORARY"	OR:	OFFICE USE ONLY	ALPINE AREA: NO	South Melbourne, Vic, 3205	<u>.</u>
GLEN WAVERLEY UNITING CHURCH AT		GORTON 250	GROUND FLOOK: 131.40m² GARAGE: 37.65m² PORCH: 3.81m² PERGOLA: 3.05m²	UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.	TERMITE PRONE AREA: YES/NO FLOOD PRONE AREA: YES/NO BUSHFIRE PRONE AREA: YES/NO WIND SEEED IS AVAILABLE: NI/NO/NO	J.G.KING Homes Melbourne	
PROPOSED RESIDENCE FOR	PF	MODIFIED		ALL EXTERNAL WALLS 240mm			
(Signed)Date/20							
(Signed)Date/20					EAS		
alterations will incur a re-drafting fee of \$450.00			1			7 PRELIMINARY PLAN COMPLETED. 1 TO SALES	08/03/07
and authorise you to draw the full Contract set of plans and acknowledge that any further			SCALE 1:100	FLEVALION	RIGH	6 SKETCH PLAN 1 TO SALES	04/12/06
I / We agree that these are our final plans						DATE   AMENDMENTS   COPIES	DATE





### 04/12/06 DATE AMENDMENTS 08/03/07 PRELIMINARY PLAN COMPLETED. SKETCH PLAN 1 TO SALES 1 TO SALES COPIES

HOMES

Ph. (03) 9686 3344 Fax. (03) 9686 3355

0

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??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

SITE AREA SITE COVERAGE:

X X

DRAWN:

RA

CHECKED:

DATE:

08/03/2007

JOB No: M608155

SHEET No:

of 10

91 Montague Street, South Melbourne, Vic, 3205

J.G.KING Homes Melbourne

TERMITE PRONE AREA:

FLOOD PRONE AREA:

BUSHFIRE PRONE AREA:

WIND SPEED IF AVAILABLE: N

ALPINE AREA:

YES/NO
YES/NO
YES/NO
NO

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: FIRST FLOOR: TOTAL:

131.40m²
37.65m²
3.81m²
3.05m2
118.95m²
294.86m²

**GORTON 250** MODIFIED

### JOINERY DETAILS SCALE 1:50

17 580

580

**ELEVATION 4** 

51 700

¥ 600 × 400 ×

¥400 ¥

970

**ELEVATION 3** 

DIMENSIONS GIVEN ARE FOR JOINERY ONLY. ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00 (Signed)......Date...../20.....

PROPOSED RESIDENCE FOR SLEN WAVERLEY UNITING CHURCH AT
--

(Signed)......Date..../20....

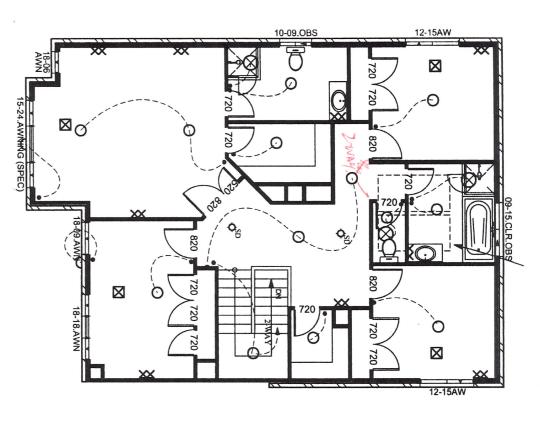
"CONTEMPORARY" **(**) GLEN WAVERLEY

\* INCLUDE 1x15 AMPERE OUTLET TO DISHWASHER SPACE # INCLUDE OUTLET IN CEILING SPACE FOR CENTRAL HEATING UNIT

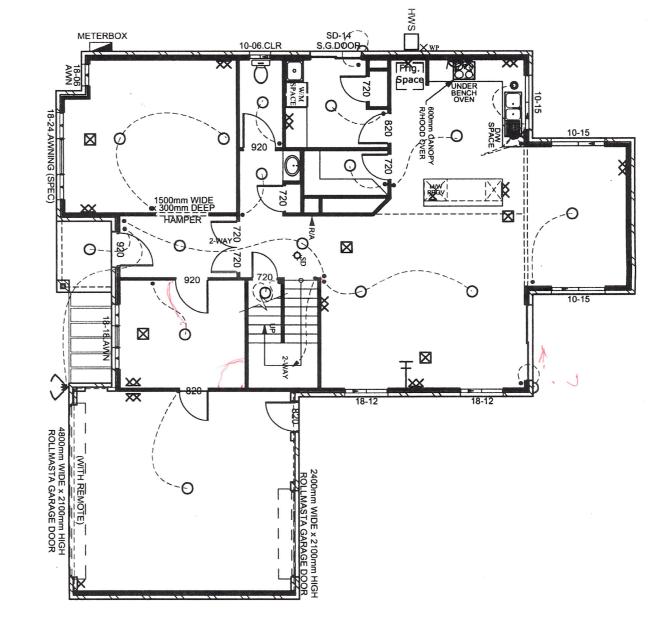
LEGEND OF SYMBOLS

PTP TP

2 29







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TELEVISION COAXIAL POINT

\_ ω

**Q**S

SMOKE DETECTOR

0

8

FLUORESENT LIGHT TUBE (TWIN)

N N N N N

2

HPM/FAN/LIGHT/HEAT LAMP (4 LAMPS) HPM/FAN/LIGHT/HEAT LAMP (2 LAMPS)

RECESSED DOWN LIGHTS

8

EVAPORATIVE COOLING OUTLET

N

N

Ø  $\boxtimes$ 

VACUUM SYSTEM INLETS

HEATING DUCT OUTLETS

N N

9

DUCTED VACUUM SYSTEM

N/A

4

PHONE POINT SENSOR LIGHT SPOTLIGHT

N

\_

COACHLIGHT

N N/A N N SWH

170It GAS BOOSTED - OPEN CIRCUIT SOLAR HOT WATER SYSTEM

\_\_

**X**W₽

SINGLE GENERAL PURPOSE OUTLET DOUBLE GPO WEATHER PROOF SINGLE GPO WEATHER PROOF DOUBLE GENERAL PURPOSE OUTLET INCANDESCENT LIGHT (EXTERNAL) INCANDESCENT LIGHT (INTERNAL)

> Z NA 21#

\_ QÎ,

ω

X WP

D

EXHAUST FAN (DUCTED) DIRECT WIRE APPLIANCE Ķ

NOTE: HEATING REGISTER LOCATIONS TO BE CONFIRMED AND LOCATED AS PER MANUFACTURER'S SPECIFICATIONS

M
0
4
D
$\mathfrak{O}$
70
5

SCALE 1:100

2	S	ALPINE AREA:
	N1/N2/N3	WIND SPEED IF AVAILABLE:
UNLES	YES/NO	BUSHFIRE PRONE AREA:
ALL	YES/NO	FLOOD PRONE AREA:
UNLES	YES/NO	TERMITE PRONE AREA:
ALL E		

08/03/07 04/12/06 DATE

PRELIMINARY PLAN COMPLETED

1 TO SALES 1 TO SALES COPIES

SKETCH PLAN

AMENDMENTS

 Copyright 2007 JG King Pty. Ltd. L EXTERNAL WALLS 240mm
ESS OTHERWISE SPECIFIED.
LL INTERNAL WALLS 90mm
ESS OTHERWISE SPECIFIED. FFICE USE ONLY

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: FIRST FLOOR: TOTAL:

HOMES

Ph. (03) 9686 3344 Fax. (03) 9686 3355

0

91 Montague Street,

G.KING Homes Melbourne

South Melbourne, Vic, 3205

SITE AREA SITE COVERAGE:

N N

DRAWN:

131.40m² 37.65m² 3.81m² 3.05m2

"CONTEMPORARY" **GORTON 250** MODIFIED CHECKED: DATE:

08/03/2007

JOB No: M608155 | SHEET NO:

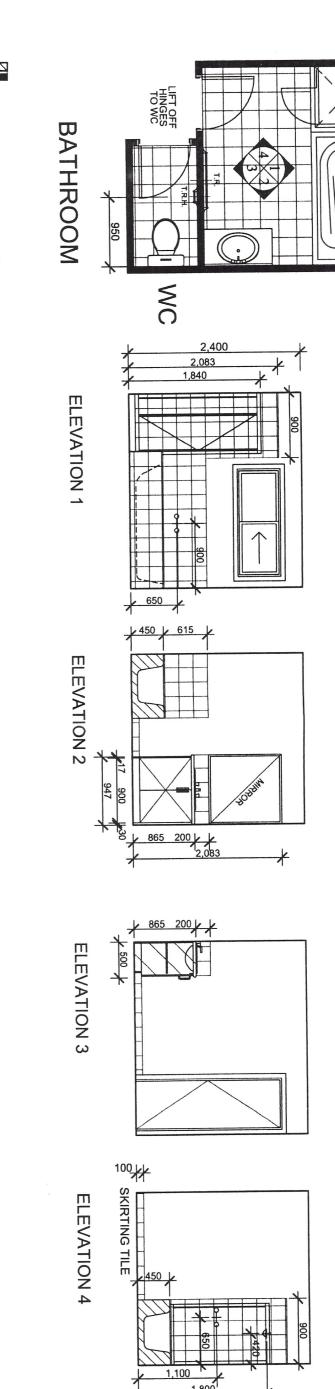
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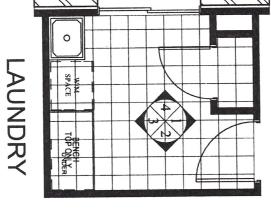
of 10

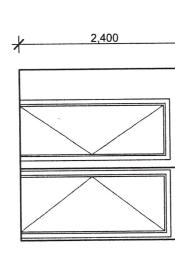
9 PROPOSED RESIDENCE FOR GLEN WAVERLEY

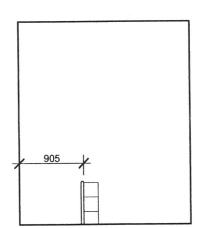
EN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE.

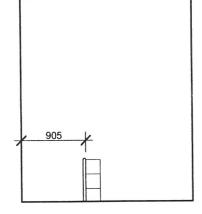
I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00 (Signed)......Date..../20.... (Signed)...../20.....

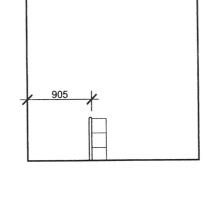


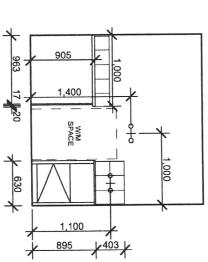


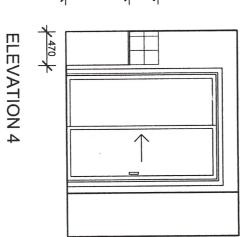












**ELEVATION 1** 

**ELEVATION 2** 

**ELEVATION 3** 

JOINERY DETAILS SCALE 1:50

DATE

AMENDMENTS

COPIES

1 TO SALES

08/03/07 04/12/06

PRELIMINARY PLAN COMPLETED.

SKETCH PLAN

DIMENSIONS GIVEN ARE FOR JOINERY ONLY. ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

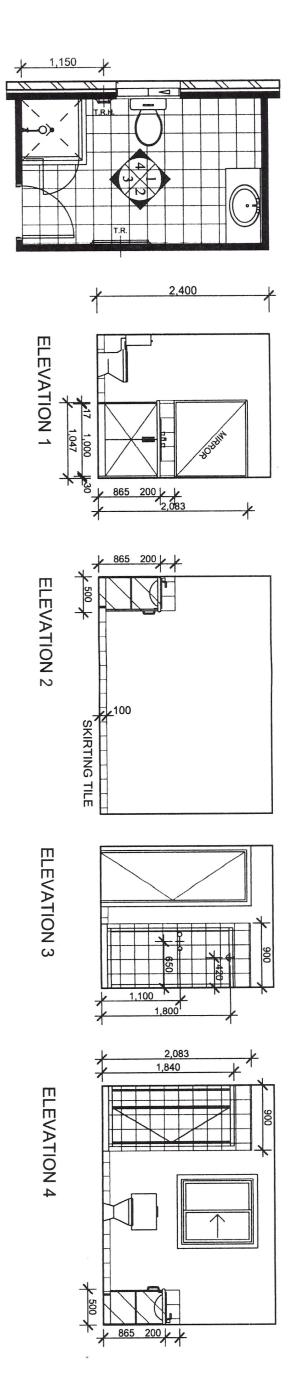
I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00

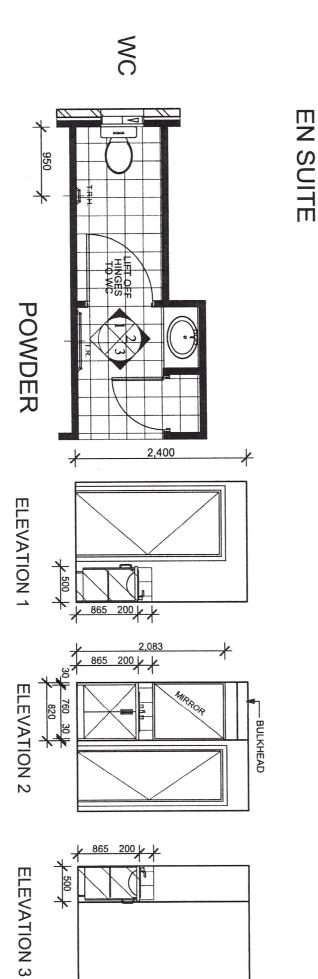
(Signed).....

......Date..../..../20.....

(Signed)Date/20  PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY  DATE: 08/03/2007 JOB NO: M608155 SHEET NO: 8 of 10
CE FOR CHURCH AT V AVE.  SHEET NO: 8 of 10

<b>IS</b> Ph. (03) 9686 3344 Fax. (03) 9686 3355	J.G.KING Homes Melbourne 91 Montague Street, South Melbourne, Vic., 3205	
C - Copyright 2007 JG King Pty. Ltd.	TERMITE PRONE AREA: YES/NO FLOOD PRONE AREA: YES/NO BUSHFIRE PRONE AREA: YES/NO WIND SPEED IF AVAILABLE: N1/N2/N3 ALPINE AREA: NO	
STEEL FRAME (APPROX ONLY.)	UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  OFFICE USE ONLY  222 LINEAL METRES OF	ALL EXTERNAL WALLS 240mm
SITE AREA N/A SITE COVERAGE: N/A	GROUND FLOOR: 131.40m² GARAGE: 37.65m² PORCH: 3.81m² PERGOLA: 3.05m2 FIRST FLOOR: 118.95m² TOTAL: 294.86m²	AREA
DRAWN: RA CHECKED:	MODIFIED GORTON 250 "CONTEMPORARY"	
DATE: 08/03/2007 JOB NO: M608155 SHEET NO: 8	GLEN WAVERLEY U LOT 17 SOUT GLEN W	PROPOSED RESIDENCE FOR





### **TILING AREAS**

ROOM NAME	FLOOR m2	WALLS m2
KITCHEN	12.81	2.00
EN SUITE	5.38	3.88
BATHROOM	3.98	7.13
ENTRY	9.77	N/A
W.C.	1.49	N/A
LAUNDRY	5.46	0.41
PASSAGE	N/A	N/A
FAMILY/MEALS	N/A	N/A
POWDER/WC	5.60	0.36
TOTAL	44.49	13.78

DATE	DATE AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
08/03/07	PRELIMINARY PLAN COMPLETED.	1 TO SALES

South Melbourne, Vic, 3205 Ph. (03) 9686 3344 Fax. (03) 9686 3355

0

- Copyright 2007 JG King Pty. Ltd.

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

SITE AREA SITE COVERAGE:

N N

DRAWN:

OFFICE USE ONLY

91 Montague Street,

J.G.KING Homes Melbourne

TERMITE PRONE AREA:

FLOOD PRONE AREA:

BUSHFIRE PRONE AREA:

WIND SPEED IF AVAILABLE: N

ALPINE AREA:

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: FIRST FLOOR: TOTAL:

### JOINERY DETAILS SCALE 1:50

DIMENSIONS GIVEN ARE FOR JOINERY ONLY. ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

	CORTON 250 C	אוסטויוניט	MODIFIED	
I OT 17 SOLITHDOWN AVE	GLEN WAVERLEY ONLING CHORCE AT		PROPOSED RESIDENCE FOR	

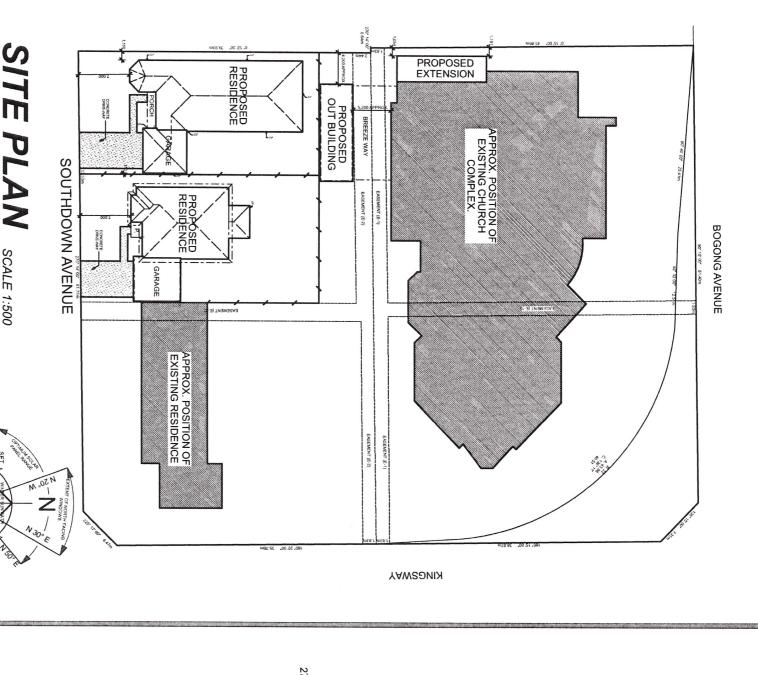
I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00

(Signed)......Date...../20.....

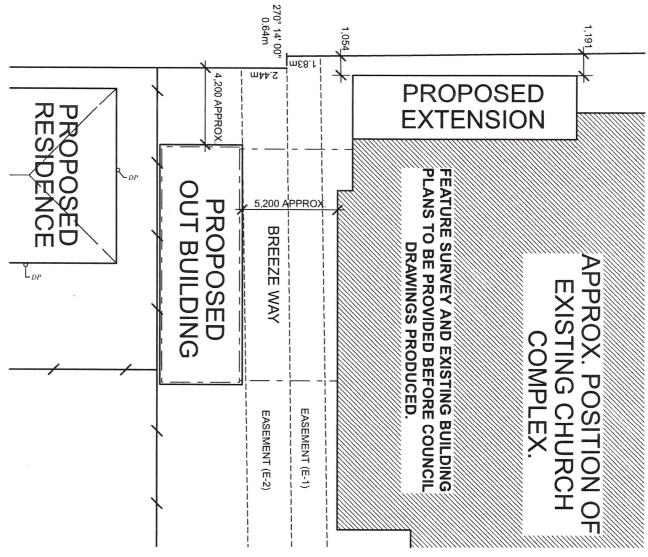
(Signed).....

......Date..../.../20.....

"CONTEMPORARY" RA CHECKED: DATE: 08/03/2007 JOB NO: M608155 SHEET NO: GLEN WAVERLEY 9 <u>4</u>



## SKETCH ONLY



# SCALE 1:200

 $\Box$ 

E.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS

### NOTES.

### GENERAL

- LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

  REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE
- 2. REQUIRED FILL & COMPACTION TO BE IN ACCURDANCE WITH A.S. 2870-1996
  3. ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS & FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN
- CONCRETE SLABS

### **FOOTINGS**

- STRENGTH OF 20MPa
- REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-1996.
  3. LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN ALL SLAB, BEAM & FOREINFORCEMENT TO
- 4. ALLOWABLE BEARING PRESSURE OF SOIL:
  UNDER STRIP OR PAD FOOTINGS 100 kPa
  UNDER SLABS OR BEAMS 50 kPa
- UNDER SLABS OR BEAMS
  5. POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB.
  6. TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

## WINDOWS & DOORS

1. ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINIUM FRAMED UNLESS OTHERWISE NOTED.

ROOF STRUCTURE

## URE DESIGNED IN ACCORDANCE WITH 3 AS SPECIFIED IN TITLE PANEL. 3NS TO BE 25mm "TOP HAT" SECTION. 5RIAL AS NOTED ON ELEVATIONS & PLAN. DING CONTRACTS FOR DOWNPIPE IS

- WALL FRAMING DETAILS REF. BHP HOUSE WALL
- FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.

  WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN THE CAME OF THE CONTROL OF THE CAME OF

## 90mm DIA. PVC STORMWATER PIPE

- 100mm DIA. UPVC SEWER PIPE
- AGRICULTURAL DRAIN WITH SILT PIT
- METER BOX POSITION

EXTERNAL TAP

NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERFLOW RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.

AREA GROUND FLOOR: BREEZE-WAY: STORE ROOM: TOTAL: 58.50m² 69.62m² 42.70m² 170.82m2 N N DRAWN: RKA CUSTOM CHECKED DA. PROPOSED OUTBUILDING & STORE ROOM
UNITING CHURCH AT
CORNERS OF BOGONG AVENUE AND
KINGS WAY, GLEN WAVERLY 5/12/2006 JOB NO: M608153 SHEET No: 으

JOKANO JOKANO

Ph. (03) 9686 3344 Fax. (03) 9686 3355

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Copyright 2006 JG King Pty. Ltd.

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

SITE AREA SITE COVERAGE:

91 Montague Street,

J.G.KING Homes Melbourne

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA:

YES/NO YES/NO YES/NO N1/N2/N3 NO

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED.

South Melbourne, Vic, 3205

DATE 05/12/2006

AMENDMENTS SKETCH PLANS COMPLETED

1 TO SALES COPIES

## SKETCH ONLY



GROUND FLOOR PLAN

SCAL E 1:100

> ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740 SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

CLASSIC INCLUSIONS TO RESIDENCE

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1 PER 60m2 OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX EXCLUDING BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS)
THERMALLY IMPROVED ALL WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALED DIMENSIONS NOTE: A.J DENOTES ARTICULATION JOINTS NO EAVE FROM BRICKWORK

2400mm WIDE × 2100mm HIGH ROLLMASTA GARAGE DOOR

820

UNDER COVER BREEZE-WAY

PFC BEAM ABOVE

POLYCARBONATE SHEETING

5,200 APPROX

POLYCARBONATE SHEETING

"POLYCARBONATE SHEETING

PFC BEAM ABOVE

CONNECTION TO EXISTING BUILDING TO BE CONFRIMED

8

VERANDAH ROOFS ARE DESIGNED TO CARRY ROOFING MATERIALS ONLY AND ARE NOT TO BE WALKED ON AT ANY TIME.

LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT.

BRICKWORK OVER ALL OPENINGS TO FRONT OF RESIDENCE. (EXCLUDING GARAGE VEHICLE ACCESS DOOR). HARDI-PLANK CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE WINDOWS AND P/A DOORS).

INTH STRETCHER BRICKS TO ALL RESIDENCE JOR THRESHOLDS (ONLY FOR DOOR OPENINGS THAT RE IN BAGGED OR RENDERED WALLS)

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED. 13,000

7,780

1,200

90

3,840

240\_

240

PROPOSED OUTBUILDING & STORE ROOM
UNITING CHURCH AT
CORNERS OF BOGONG AVENUE AND
KINGS WAY, GLEN WAVERLY

CUSTOM

DATE

AMENDMENTS

SKETCH PLANS COMPLETED

1 TO SALES COPIES

> 4,500 4,020

**CLASS ROOM** 

300 DEEP HAMPER

OFFICE

4,020 4,500 404 575

078 段

91 Montague Street, .G.KING Homes Melbourne

South Melbourne, Vic, 3205

Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA: 0 - Copyright 2006 JG King Pty. Ltd. YES/NO YES/NO YES/NO N1/N2/N3 NO

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

AREA GROUND FLOOR: BREEZE-WAY: STORE ROOM: TOTAL:

SITE AREA SITE COVERAGE: N N

58.50m<sup>2</sup> 69.62m<sup>2</sup> 42.70m<sup>2</sup> 170.82m<sup>2</sup>

DRAWN: RKA

CHECKED:

DA: 5/12/2006

JOB No: M608153

SHEET No:

್ತ 4

FEATURE SURVEY AND EXISTING BUILDING PLANS TO BE PROVIDED BEFORE COUNCIL DRAWINGS PRODUCED. EXPOSED PFC BEAM TO BE CONFIRMED 1.00 KLIP-LOCK METAL ROOFING

FLOOR LEVEL \_ U/S CEILING 3000 0 BREEZE-WAY EXISTING CHURCH COMPLEX SKETCH ONLY

### FRONT ELEVATION SCALE 1:100

FLOOR LEVEL U/S CEILING 3000 ROOF STRUCTURE TO MATCH EXISTING 0 PROPOSED EXTENSION (STORE ROOM) **EXISTING CHURCH** REAR ELEVATION COMPLEX SCALE 1:100 CONNECTION DETAILS TO BE DETERMINED BREEZE-WAY EXPOSED PFC BEAM TO BE CONFIRMED 3,170 PROPOSED OUT BUILDING 170 3,650 3,820 EXISTING CHU ORK TO MATCH

DOWNPIPES TO BE PROVIDED AT 1
PER 60m2 OF ROOF AREA AND NO MORE
THAN 12m CENTRES MAX. EXCLUDING
BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS)
THERMALLY IMPROVED NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION JOINTS

EAST

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

CHANG 91 Montague Street, J.G.KING Homes Melbourne South Melbourne, Vic, 3205 Ph. (03) 9686 3344 Fax. (03) 9686 3355

> TERMITE PRONE AREA:
> FLOOD PRONE AREA:
> BUSHFIRE PRONE AREA:
> WIND SPEED IF AVAILABLE:
> ALPINE AREA: YES/NO YES/NO YES/NO N1/N2/N3 NO

0

- Copyright 2006 JG King Pty. Ltd.

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED. ??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

AREA GROUND FLOOR: BREEZE-WAY: STORE ROOM: TOTAL: SITE AREA SITE COVERAGE: NA

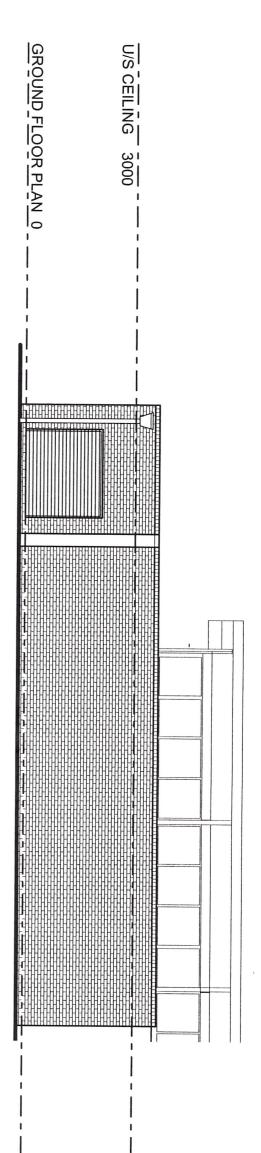
58.50m<sup>2</sup> 69.62m<sup>2</sup> 42.70m<sup>2</sup> 170.82m2 DRAWN:

RKA CUSTOM CHECKED

DA PROPOSED OUTBUILDING & STORE ROOM UNITING CHURCH AT CORNERS OF BOGONG AVENUE AND KINGS WAY, GLEN WAVERLY 5/12/2006 JOB No: M608153 SHEET No:  $\omega$ 

으 4

## SKETCH ONLY



# LEFT ELEVATION SCALE 1:100

SOUTH

FEATURE SURVEY AND EXISTING BUILDING PLANS TO BE PROVIDED BEFORE COUNCIL DRAWINGS PRODUCED.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS)
THERMALLY IMPROVED

DOWNPIPES TO BE PROVIDED AT 1
PER 60m2 OF ROOF AREA AND NO MORE
THAN 12m CENTRES MAX. EXCLUDING
BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

NOTE: A.J DENOTES ARTICULATION JOINTS

NO EAVE FROM BRICKWORK

DATE | AMENDMENTS SKETCH PLANS COMPLETED 1 TO SALES COPIES

05/12/2006

J.G.KING Homes Melbourne
91 Montague Street,
South Melbourne, Vic., 3205
Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA: YES/NO YES/NO YES/NO N1/N2/N3 NO

0

- Copyright 2006 JG King Pty. Ltd.

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

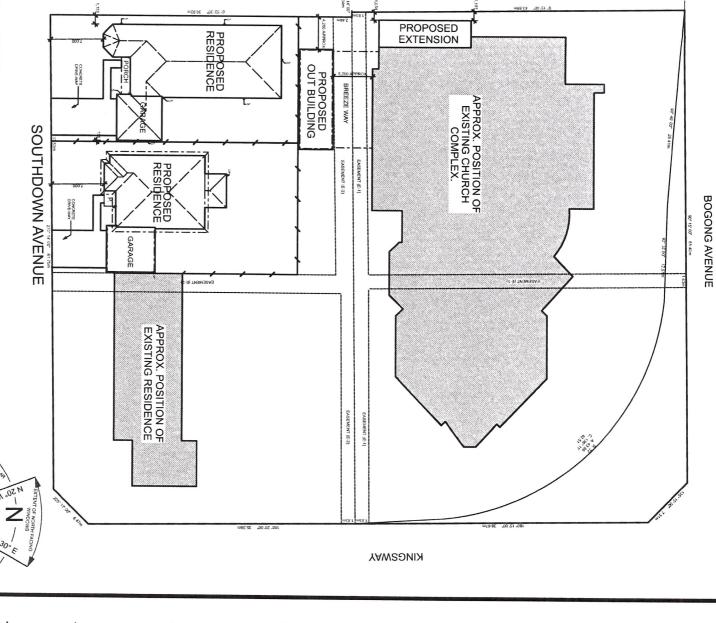
AREA GROUND FLOOR: BREEZE-WAY: STORE ROOM: TOTAL: SITE AREA SITE COVERAGE: 58.50m² 69.62m² 42.70m² 170.82m² N N

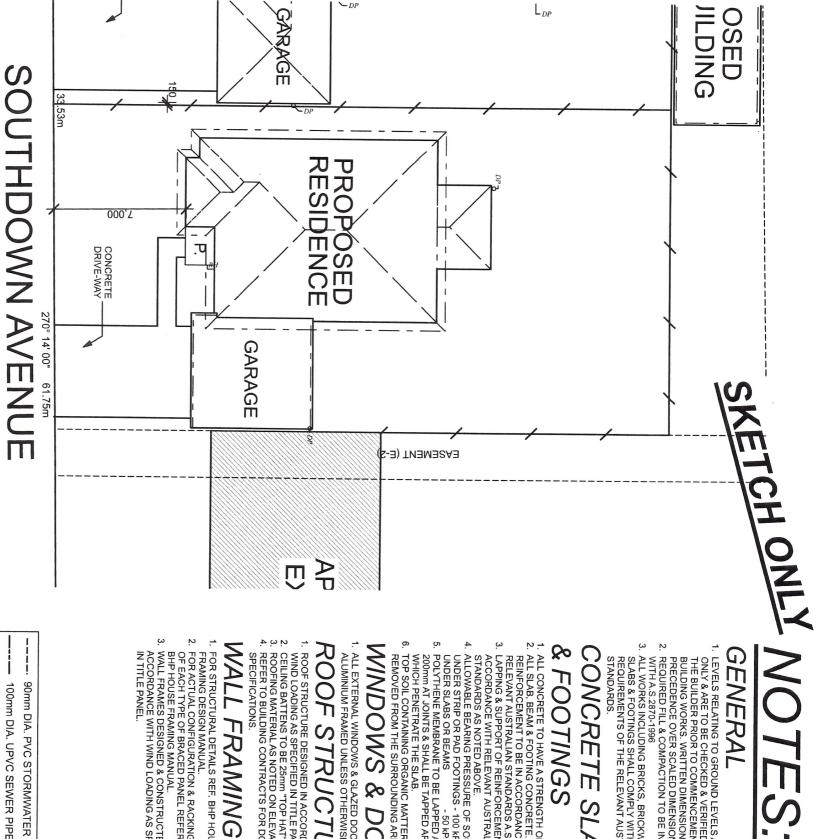
DRAWN:

RKA CUSTOM DA.

PROPOSED OUTBUILDING & STORE ROOM
UNITING CHURCH AT
CORNERS OF BOGONG AVENUE AND
KINGS WAY, GLEN WAVERLY 5/12/2006 JOB No: M608153 SHEET No:

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2. ALL SLAB, BEAM & FOOTING CONCRETE.
REINFORCEMENT TO BE IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS A S. 2870,1-1996.
3. LAPPING & SUPPORT OF REINFORCEMENT TO BE IN
ACCORDANCE WITH RELEVANT AUSTRALIAN
STANDARDS AS NOTED ABOVE.
4. ALLOWABLE BEARING PRESSURE OF SOIL:
UNDER STRIP OR PAD FOOTINGS - 100 kPa
UNDER STRIP OR PAD FOOTINGS - 50 kPa
UNDER SLABS OR BEAMS
5. POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF
200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES
WHICH PENETRATE THE SLAB.
6. TOP SOIL CONTAINING ORGANIC MATTER SHALL BE
REMOVED FROM THE SURROUNDING AREA.

1. ALL CONCRETE TO HAVE A STRENGTH OF 20MPa 2. ALL SLAB, BEAM & FOOTING CONCRETE

& FOOTINGS

**CONCRETE SLABS** 

1. LEVELS RELATING TO GROUND LEVELS ARE APPROXIMA]
ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY
THE BUILDER PRIOR TO COMMENCEMENT OF ANY
BUILDING WORKS. WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALED DIMENSIONS.

2. REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE
WITH A.S.2870-1996

3. ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE
SLABS & FOOTINGS SHALL COMPLY WITH THE
REQUIREMENTS OF THE RELEVANT AUSTRALIAN
STANNASPS

### PART SITE PLAN SCALE 1:200

### ---- 90mm DIA. PVC STORMWATER PIPE 100mm DIA. UPVC SEWER PIPE

1. FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.

2. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.

3. WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL.

2. CEILING BATTENS TO BE 25mm "TOP HAT" SECTION.
3. ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN.
4. REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS.

ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINUM FRAMED UNLESS OTHERWISE NOTED.

ROOF STRUCTURE

WINDOWS & DOORS

WALL FRAMING

AGRICULTURAL DRAIN WITH SILT PIT

METER BOX POSITION

EXTERNAL TAP

NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERFLOW RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.

 $\Box$ 

DATE 04/12/06

AMENDMENTS

SCALE 1:500

SKETCH PLAN

1 TO SALES COPIES

91 Montague Street,

J.G.KING Homes Melbourne

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA:

YES/NO YES/NO YES/NO N1/N2/N3 NO

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED.

South Melbourne, Vic, 3205

Ph. (03) 9686 3344 Fax. (03) 9686 3355

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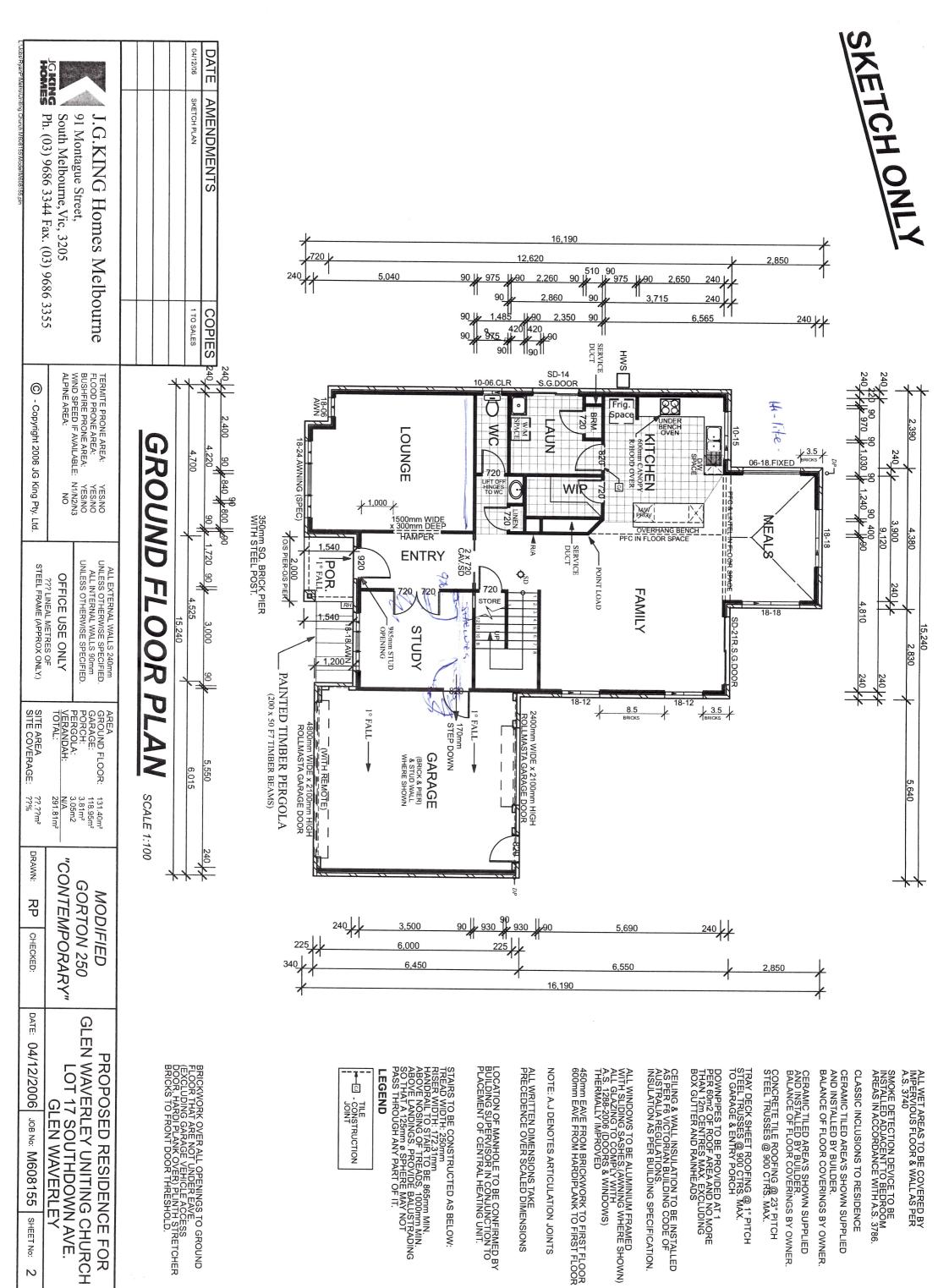
??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

SITE AREA SITE COVERAGE:

OFFICE USE ONLY

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS

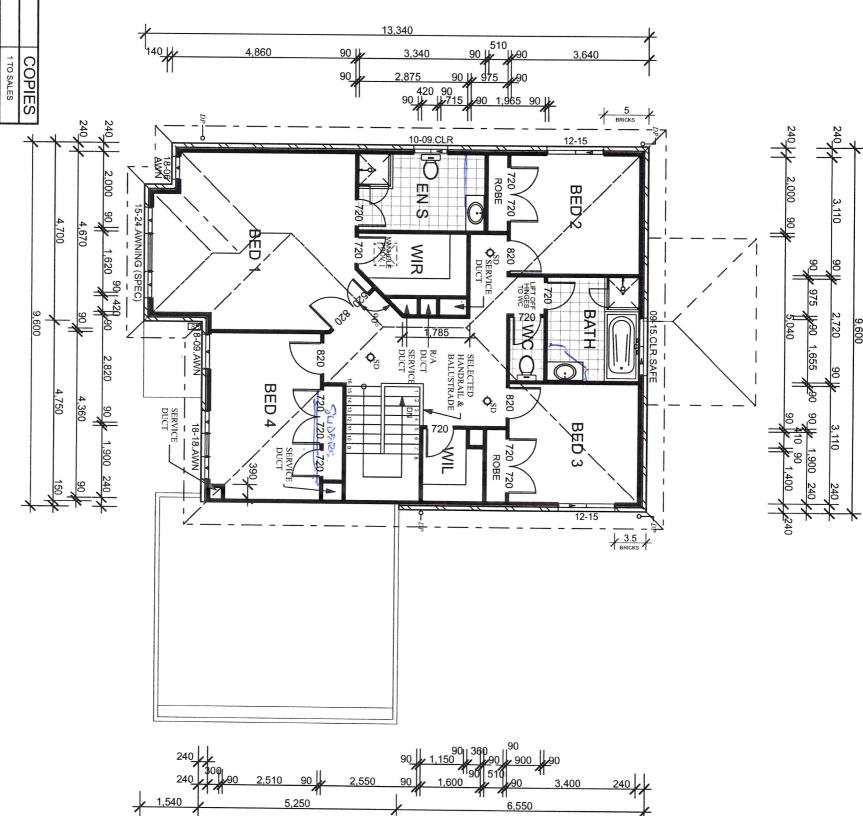
### AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: VERANDAH: TOTAL: 131.40 m² 118.95 m² 3.81 m² 3.05 m2 ??.??m² ??% N/A 291.81m<sup>2</sup> DRAWN: "CONTEMPORARY" **GORTON 250** MODIFIED 꾸 CHECKED: GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY DATE 04/12/2006 JOB NO: M608155 SHEET NO: PROPOSED RESIDENCE FOR <u>့</u> တ



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13,340

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

NOTE: A.J DENOTES ARTICULATION JOINTS

450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDIPLANK TO FIRST FLOOR

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES. (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS)
THERMALLY IMPROVED

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

DOWNPIPES TO BE PROVIDED AT 1 PER 60m2 OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX. EXCLUDING BOX GUTTER AND RAINHEADS

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

CERAMIC TILED AREA'S SHOWN SUPPLIED AND INSTALLED BY BUILDER.
BALANCE OF FLOOR COVERINGS BY OWNER.

TRAY DECK SHEET ROOFING @ 1° PITCH STEEL TRUSSES @ 900 CTRS. MAX. TO GARAGE & ENTRY PORCH

CERAMIC TILED AREA'S SHOWN SUPPLIED AND INSTALLED BY BUILDER.
BALANCE OF FLOOR COVERINGS BY OWNER.

CLASSIC INCLUSIONS TO RESIDENCE

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740

STAIRS TO BE CONSTRUCTED AS BELOW:
TREAD WIDTH: 250mm
RISER WIDTH: 172.31mm
HANDRAIL TO STAIR TO BE 865mm MIN.
ABOVE NOSING OF TREADS, 1000mm MIN.
ABOVE NOSING OF TREADS BALUSTRADING
SO THAT A 125mm ø SPHERE MAY NOT
PASS THROUGH ANY PART OF IT.

EGEND

TILE - CONSTRUCTION JOINT

LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT.

BRICKWORK OVER ALL OPENINGS TO GROUND FLOOR THAT ARE NOT UNDER EAVE.
(EXCLUDING GARAGE VEHICLE ACCESS DOOR, HARDI PLANK OVER) PLINTH STRETCHER BRICKS TO FRONT DOOR THRESHOLD.

DATE 04/12/06

AMENDMENTS

SKETCH PLAN

91 Montague Street,

South Melbourne, Vic, 3205

Ph. (03) 9686 3344 Fax. (03) 9686 3355

0

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??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

SITE AREA SITE COVERAGE:

??.??m² ??%

OFFICE USE ONLY

J.G.KING Homes Melbourne

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE: I
ALPINE AREA:

YES/NO YES/NO YES/NO N1/N2/N3 NO

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR: GARAGE: PORCH:

FIRST FLOOR PLAN

SCALE 1:100

**GORTON 250** MODIFIED

"CONTEMPORARY"

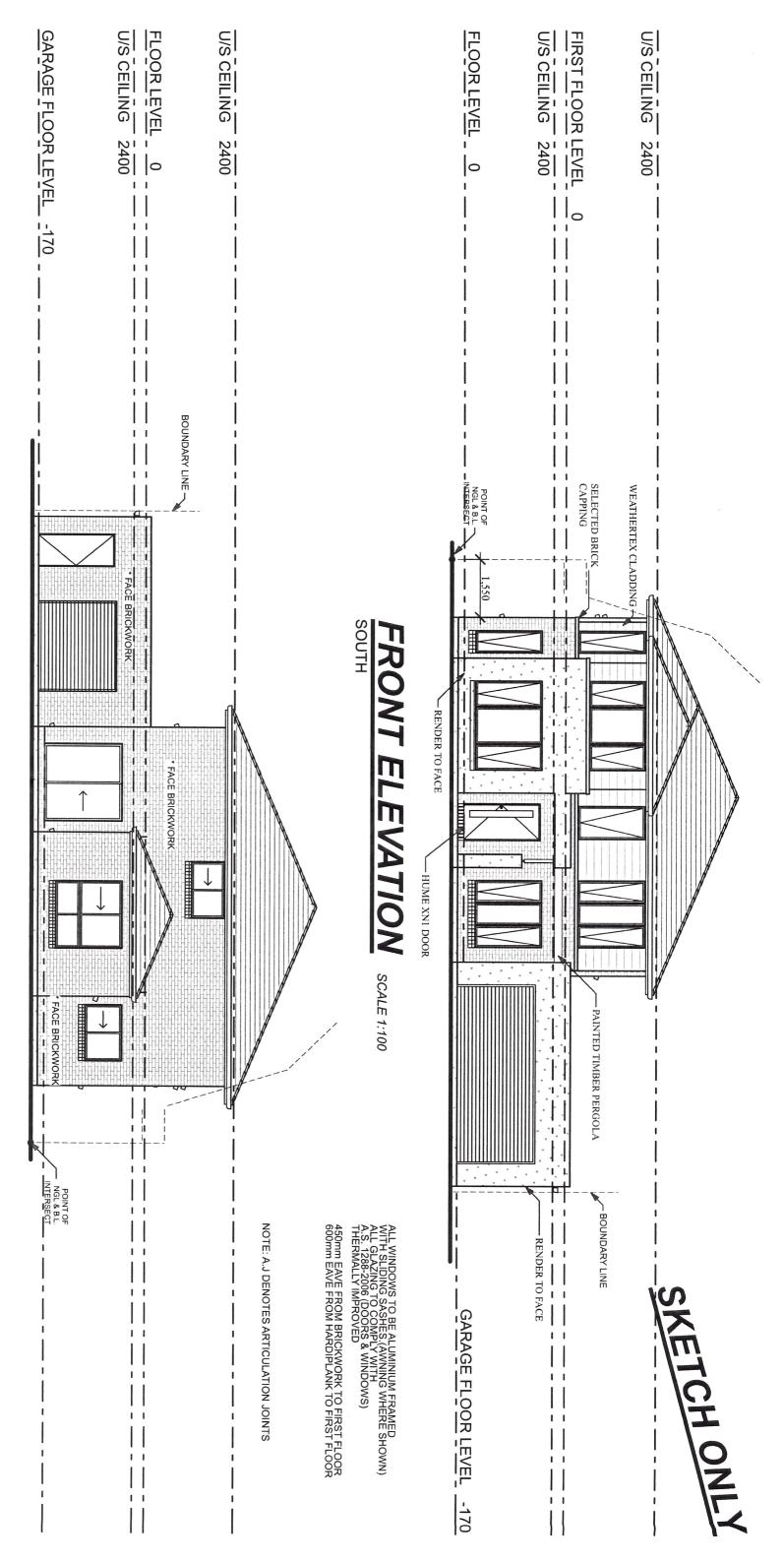
131.40m² 118.95m² 3.81m² 3.05m2 N/A 291.81m²

DRAWN: R CHECKED:

PROPOSED RESIDENCE FOR LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

of, တ

DATE: 04/12/2006 GLEN WAVERLEY UNITING CHURCH AT JOB No: M608155 SHEET No:  $\omega$ 



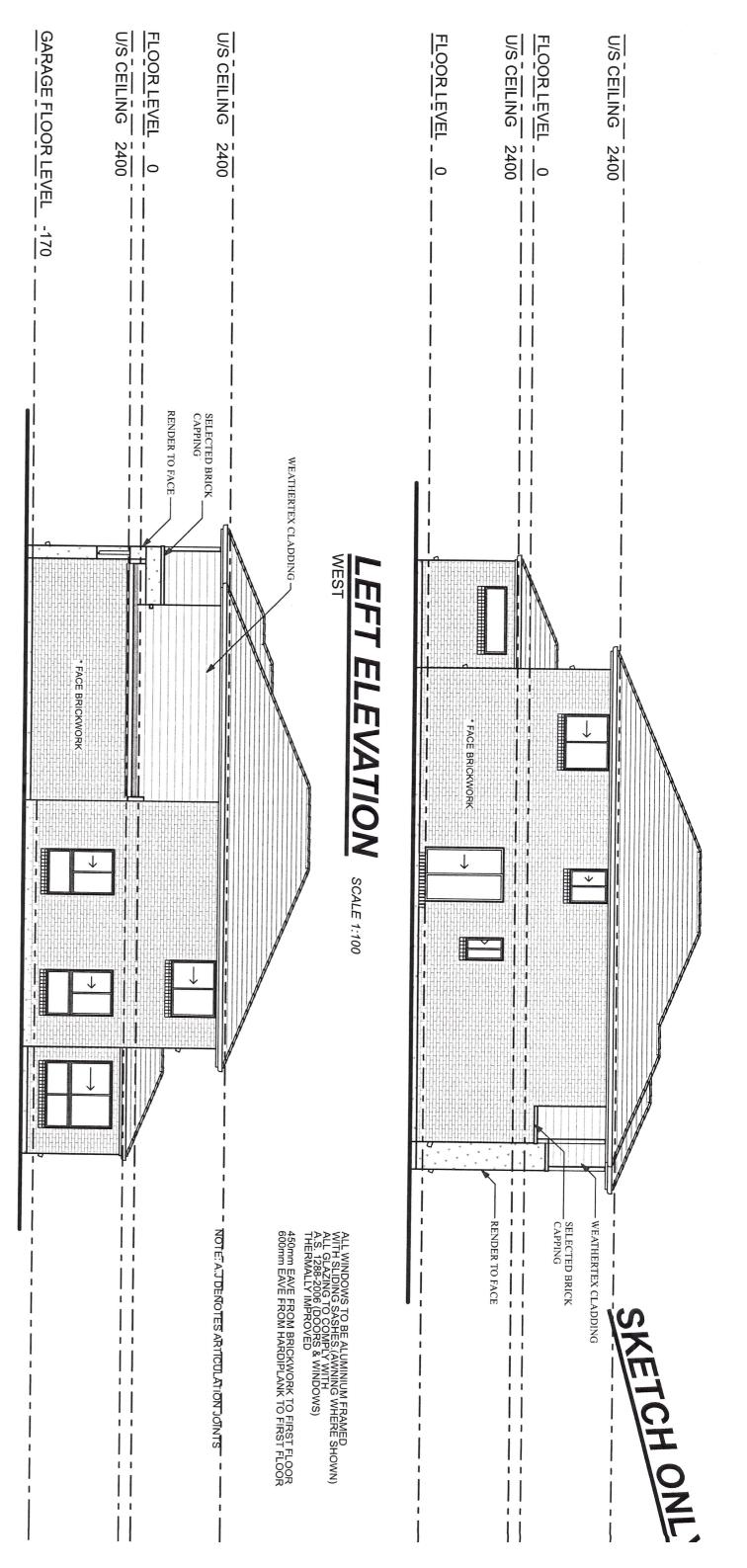
# REAR ELEVATION SCALE 1:100

DATE 04/12/06

AMENDMENTS
SKETCH PLAN

COPIES 1 TO SALES

		_
HOMES	JC MING	
S Fil. (03) 9080 3344 Fax. (03) 9080 3333		
	1	
Copyright 2006 JG King Pty. Lt	TERMITE PRONE AREA: FLOOD PRONE AREA: BUSHFIRE PRONE AREA: WIND SPEED IF AVAILABLE: ALPINE AREA:	
G King Pty. Ltd.	YES/NO YES/NO YES/NO YES/NO NO	
STEEL FRAME (APPROX ONLY.)	ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  OFFICE USE ONLY 777 LINEAL METRES OF	
SITE AREA SITE COVERAGE:	AREA GROUND FLOOR: GARAGE: PORCH: PERGOLA: VERANDAH: TOTAL:	
??.??m² ??%	131.40m² 118.95m² 3.81m² 3.05m2 N/A 291.81m²	
DRAWN:	NOO.	
RP CHECKED	MODIFIED GORTON 250 DNTEMPORA	
:CKED:	MODIFIED GORTON 250 "CONTEMPORARY"	
DATE: 04/12/2006	PROPC GLEN WAVE LOT 1	
04/12/2006 JOB NO: M608155 SHEET NO: 4 of 6	PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY	
SHEET No:	NCE FOR CHUR( N AVE. EY	
4 of 6	? CH AT	



# RIGHT ELEVATION SCALE 1:100

DATE 04/12/06

AMENDMENTS

COPIES 1 TO SALES

SKETCH PLAN

J.G.KING Homes Melbourne 91 Montague Street, South Melbourne, Vic, 3205 HOMES Ph. (03) 9686 3344 Fax. (03) 9686 3355	
TERMITE PRONE AREA: YES/NO FLOOD PRONE AREA: YES/NO BUSHFIRE PRONE AREA: YES/NO WIND SPEED IF AVAILABLE: N1/N2/N3 ALPINE AREA: NO  © - Copyright 2006 JG King Pty. Ltd.	
ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  OFFICE USE ONLY ??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)	
AREA GROUND FLOOR: 131.40m² GRAGE: 118.95m² PORCH: 3.81m² PERGOLA: 3.05m2 VERANDAH: N/A TOTAL: 291.81m² SITE AREA 72.27m² SITE COVERAGE: 72.27m²	
MODIFIED GORTON 250 "CONTEMPORARY"	
PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY	

C - Copyright 2006 JG King Pty. Ltd.

SITE AREA 77.77m² SITE COVERAGE: 77%

DRAWN:

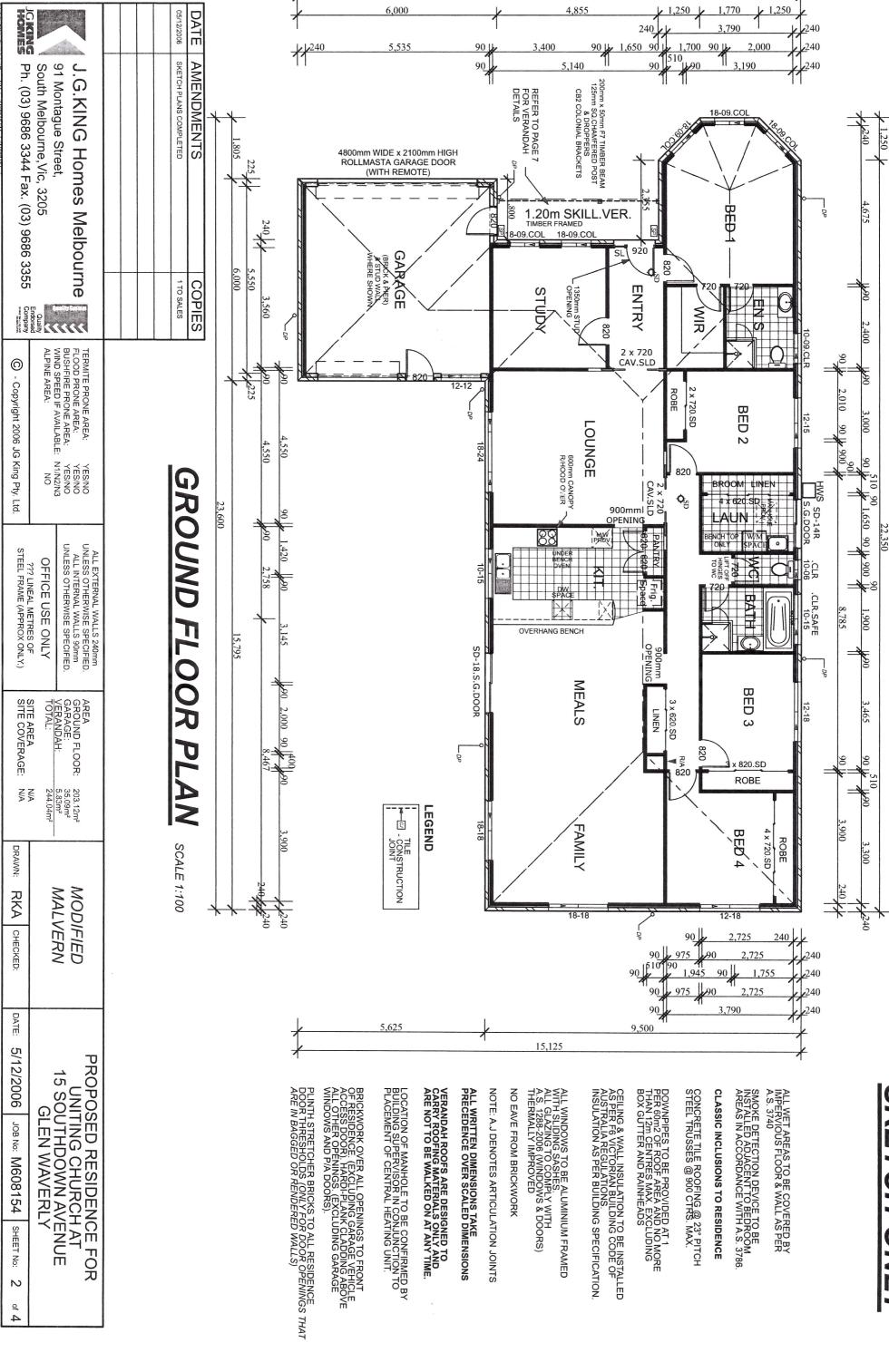
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CHECKED:

DATE: 04/12/2006 JOB No: M608155 SHEET No:

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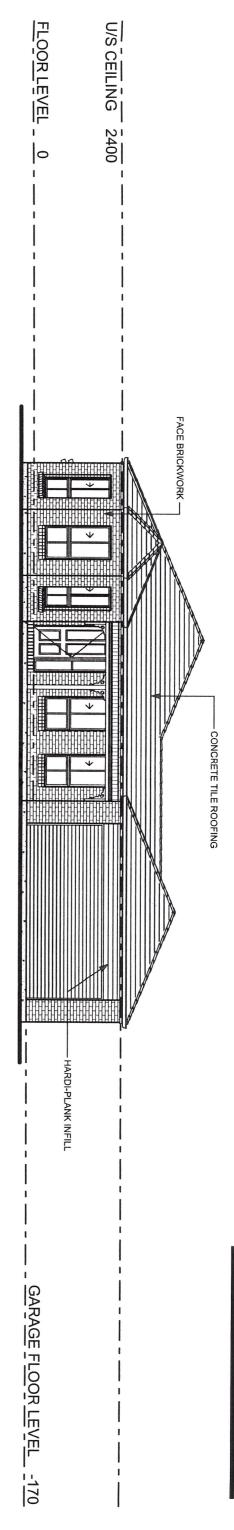
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15,125

## SKETCH ONLY

23,600



# FRONT ELEVATION SCALE 1:100

HIOOS

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1 PER 60m2 OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX. EXCLUDING BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS)
THERMALLY IMPROVED

NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION JOINTS

NOTE: AJ DENOTES ARTICULATION JOIN

REAR ELEVATION SCALE 1:100

GARAGE FLOOR LEVEL

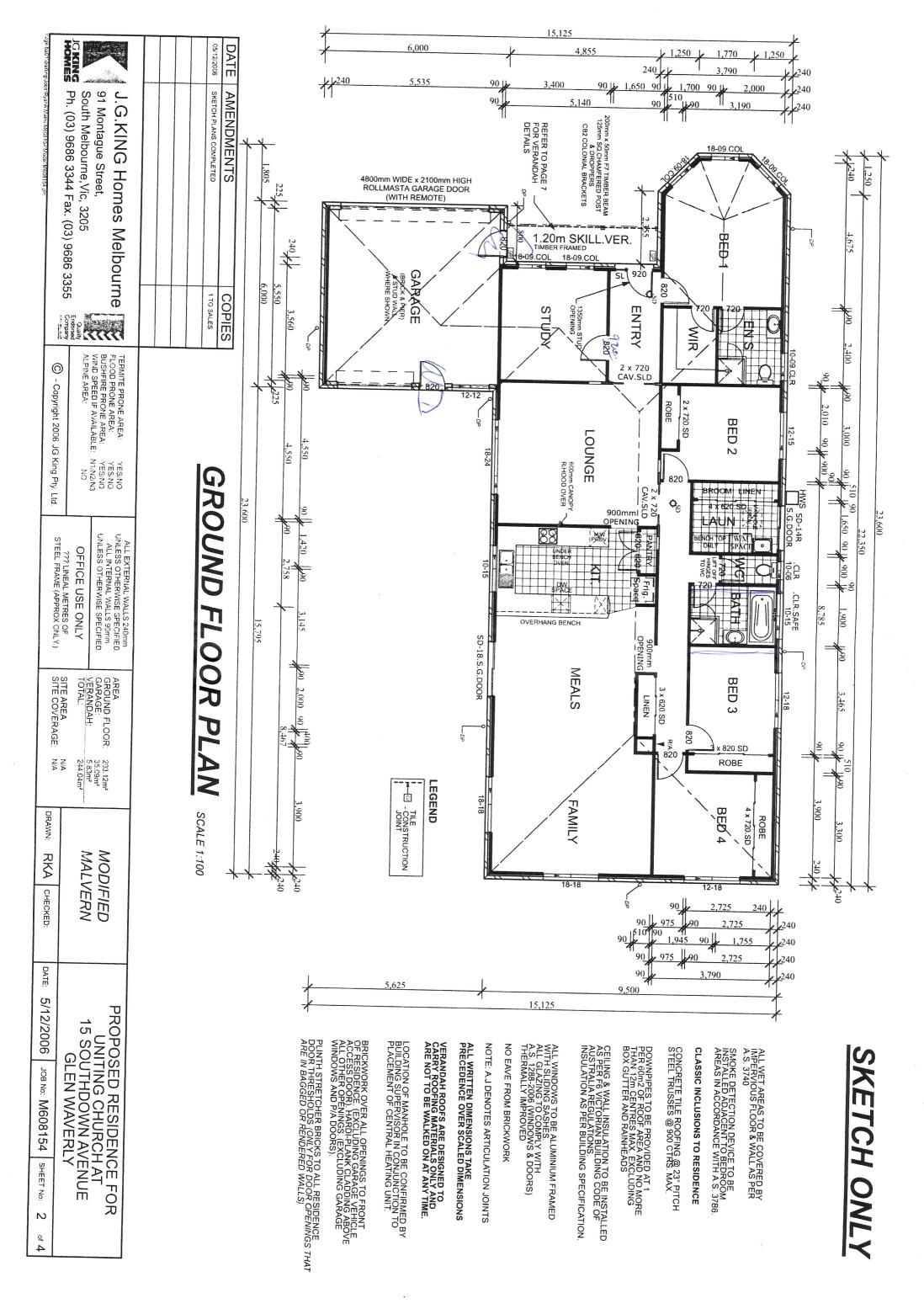
FLOOR LEVEL

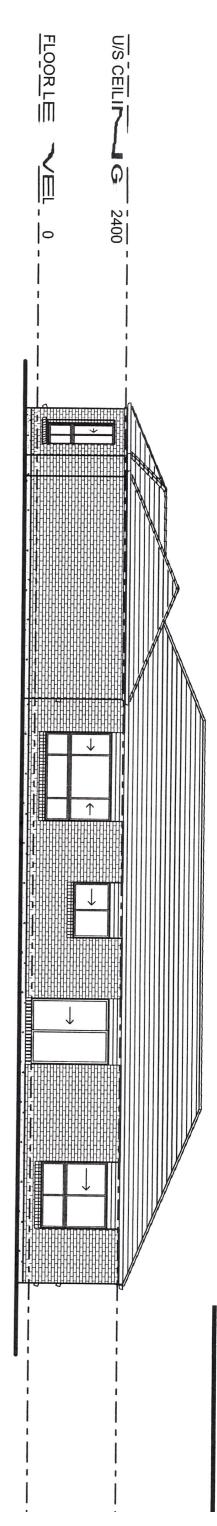
U/S CEILING 2400

					05/12/2006	DATE
South Melbourne, Vic, 3205	91 Montague Street	I C KIND Homo Molbon			SKETCH PLANS COMPLETED	DATE AMENDMEN IS
Quality					1 TO SALES	COPIES
ALPINE AREA:	BUSHFIRE PRONE AREA: YES/NO BUSHFIRE PRONE AREA: YES/NO WIND SPEED IF AVAIL ARLE: N1/N2/N3	TERMITE PRONE AREA:				
NO	YES/NO YES/NO	YES/NO				
OFFICE USE ONLY	ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.	ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.				
TOTAL:	GROUND F GARAGE:	AREA				

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jk-ba01\drafting\Jobs\RyanA\Metro\M608154\Mode\M608154.pin	TOMES Pn. (U3) 9686 3344 Fax. (U3) 9686 3355		South Melbourne, Vic, 3205	91 Montague Street,		J.G.NING HOHIES IVIEIDOUTIE	TO VINO Lomos Molhousso	
	tions to constant	Endorsed		2	···	3		
	C - Copyright 2006 JG King Pty.		ALPINE AREA:	WIND SPEED IF AVAILABLE: N1/N2/N3	BUSHFIRE PRONE AREA:	FLOOD PRONE AREA:	TERMITE PRONE AREA:	
	King Pty. Ltd.		NO O	N1/N2/N3	YES/NO	YES/NO	YES/NO	
	STEEL FRAME (APPROX ONLY.)	777 I INFAL METRES OF	OFFICE USE ONLY		UNLESS OTHERWISE SPECIFIED.	ALL INTERNAL WALLS 90mm	UNLESS OTHERWISE SPECIFIED.	
	SITE COVERAGE:	SITE AREA	TOTAL:	VERANDAH:	GARAGE:	GROUND FLOOR:	AREA	
	N/A	N/A	244.04m²	5.83m²	35.09m²	203.12m <sup>2</sup>		
	DRAWN: RKA CHECKED:			MA		MOL		•
	CHECKED:			MALVERN		MODIFIED		
	DATE: 5/12/2006		⊕.	75 SO			てなってい	

(ED:	< D
DATE:	
DATE: 5/12/2006	PROPO UNI 15 SO
JOB NO: M608154 SHEET NO:	PROPOSED RESIDENCE FOR UNITING CHURCH AT 15 SOUTHDOWN AVENUE GLEN WAVERLY
SHEET No:	CE FOI
ω	70
3 of 2	





# RIGHT ELEVATION SCALE 1:100

ALL WINDOWS TO BE ALUMINIUM FR WITH SLIDING SASHES, ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED

DOWNPIPES TO BE PROVIDED AT 1 PER 60m2 OF ROOF AREA AND NO N THAN 12m CENTRES MAX. EXCLUDII BOX GUTTER AND RAINHEADS

CONCRETE TILE ROOFING @ 23° PI'STEEL TRUSSES @ 900 CTRS. MAX.

CEILING & WALL INSULATION TO BE AS PER F6 VICTORIAN BUILDING CO AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPEC

NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION .

**Y** 

WEST LEFT ELEVATION SCALE 1:100

1 TO SALES	SKET H FILANS COMPLETED	05/12/2006
COPIES	AN ENDMENTS	DATE

FLOOR LEV

0

U/S CEILIN

2400

HOMES G			V
Ph	So	91	<u>_</u>
1	_		$\wedge$
(C=3) 9686 3344 Fax. (03) 9686 3355	th_ Melbourne, Vic, 3205	ntague Street,	KING Homes Melbourne
Endorsed Company	Quality	***	<b>***</b>

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA: YES/NO YES/NO YES/NO N1/N2/N3 NO

0

- Copyright 2006 JG King Pty. Ltd. ??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

ALL EXTERNAL WALLS 240mm
UNLESS OTHERWISE SPECIFIED.
ALL INTERNAL WALLS 90mm
UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR: GARAGE: VERANDAH: TOTAL: SITE AREA SITE COVERAGE:

203.12m² 35.09m² 5.83m² 244.04m²

DRAWN:

MODIFIED MALVERN

RKA | CHECKED: DATE:

5/12/2006 PROPOSED RESIDENCE FOR UNITING CHURCH AT 15 SOUTHDOWN AVENUE GLEN WAVERLY JOB No: M608154 SHEET No:

## SKETCH ONLY

FEATURE SURVEY AND EXISTING BUILDING PLANS TO BE PROVIDED BEFORE COUNCIL DRAWINGS PRODUCED.

# GROUND FLOOR PLAN

11,720 12,200

STORE ROOM

SCALE 1:100

ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740

**CLASSIC INCLUSIONS TO RESIDENCE** SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1
PER 60m2 OF ROOF AREA AND NO MORE
THAN 12m CENTRES MAX. EXCLUDING
BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.
INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES.
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS)
THERMALLY IMPROVED

NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION JOINTS

2400mm WIDE x 2100mm HIGH ROLLMASTA GARAGE DOOR

820

UNDER COVER BREEZE-WAY

3,500 3,260

PFC BEAM ABOVE

POLYCARBONATE SHEETING

POLYCARBONATE SHEETING

POLYCARBONATE SHEETING

PFC BEAM ABOVE

CONNECTION TO EXISTING BUILDING TO BE DETERMINED

200 APPROX

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

VERANDAH ROOFS ARE DESIGNED TO CARRY ROOFING MATERIALS ONLY AND ARE NOT TO BE WALKED ON AT ANY TIME.

LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT.

BRICKWORK OVER ALL OPENINGS TO FRONT OF RESIDENCE. (EXCLUDING GARAGE VEHICLE ACCESS DOOR). HARDI-PLANK CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE WINDOWS AND P/A DOORS). PLINTH STRETCHER BRICKS TO ALL RESIDENCE DOOR THRESHOLDS (ONLY FOR DOOR OPENINGS THAT ARE IN BAGGED OR RENDERED WALLS)

DATE **AMENDMENTS** SKETCH PLANS COMPLETED COPIES 1 TO SALES 7,780

4,500

4,020

**CLASS ROOM** 

300 DEEP HAMPER

OFFICE

2,000

240

240

RH

TERMITE PRONE AREA:
FLOOD PRONE AREA:
BUSHFIRE PRONE AREA:
WIND SPEED IF AVAILABLE:
ALPINE AREA: YES/NO YES/NO YES/NO N1/N2/N3 NO

91 Montague Street,

G.KING Homes Melbourne

South Melbourne, Vic, 3205

Ph. (03) 9686 3344 Fax. (03) 9686 3355

0

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ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED

??? LINEAL METRES OF STEEL FRAME (APPROX ONLY.) OFFICE USE ONLY

13,000

90 1,200

90

3,840

1600

1,330

4,020

4,500

AREA GROUND FLOOR: BREEZE-WAY: STORE ROOM: TOTAL:

SITE AREA SITE COVERAGE: 58.50m² 69.62m² 42.70m² 170.82m2

N N

DRAWN: RKA

CUSTOM CHECKED:

DAT PROPOSED OUTBUILDING & STORE ROOM
UNITING CHURCH AT
CORNERS OF BOGONG AVENUE AND
KINGS WAY, GLEN WAVERLY 5/12/2006 JOB No: M608153 | SHEET No:

of **4**