

# PRELIMINARY ONLY

## NOTES:

### GENERAL

- LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A.S.2870-1996
- ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS & FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.

### CONCRETE SLABS & FOOTINGS

- ALL CONCRETE TO HAVE A STRENGTH OF 20MPa
- ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870 1-1996.
- LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AS NOTED ABOVE.
- ALLOWABLE BEARING PRESSURE OF SOIL: UNDER STRIP OR PAD FOOTINGS - 100 kPa UNDER SLABS OR BEAMS - 50 kPa
- POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB.
- TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

### WINDOWS & DOORS

- ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINIUM FRAMED UNLESS OTHERWISE NOTED.

### ROOF STRUCTURE

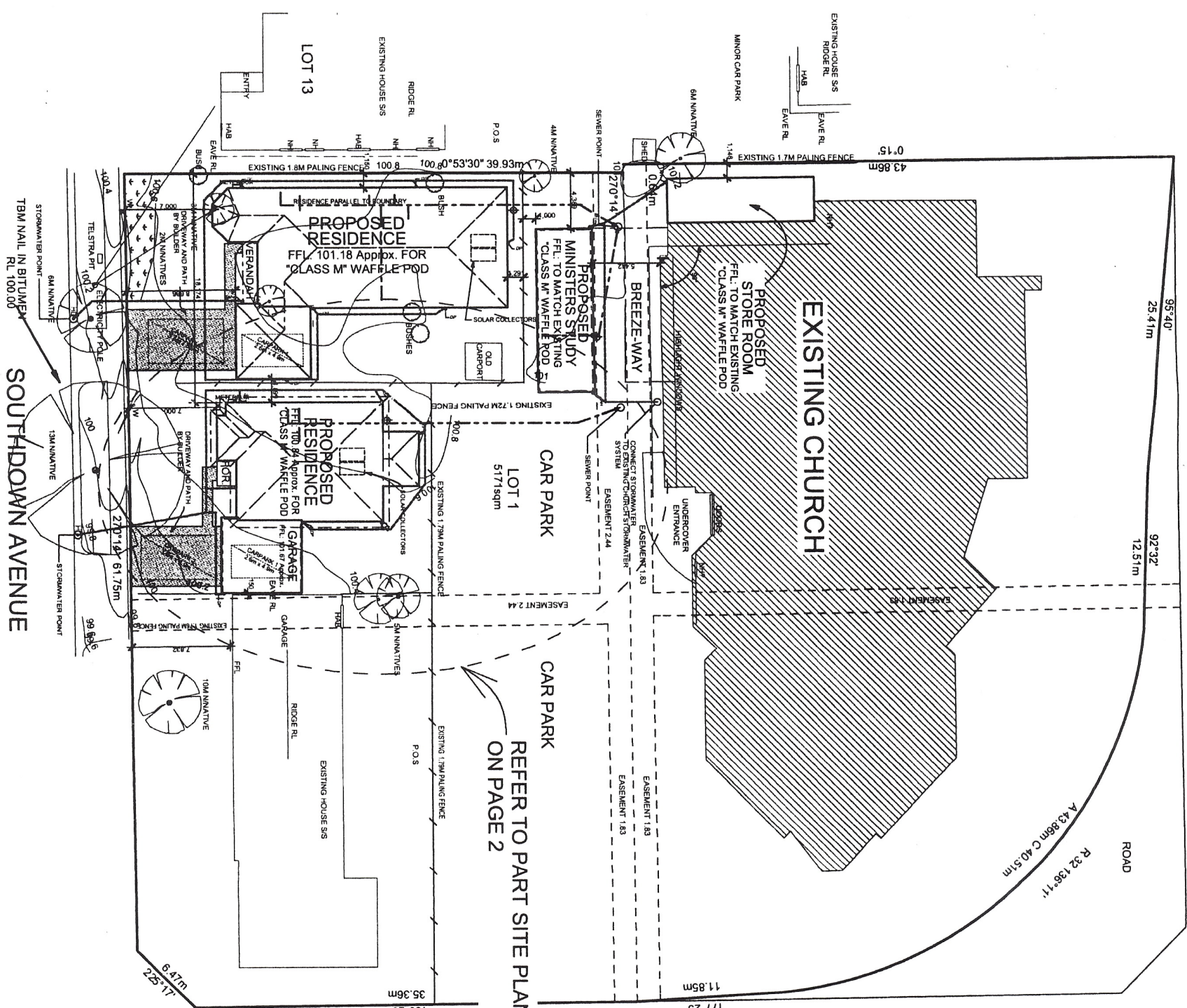
- ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL.
- CEILING BATTENS TO BE 25mm TOP HAT SECTION.
- ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN.
- REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS.

### WALL FRAMING

- FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.
- FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.
- WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL.

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
08/03/07	PRELIMINARY PLAN COMPLETED.	1 TO SALES

**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355



BOGONG AVENUE

SOUTHDOWN AVENUE

REFER TO PART SITE PLAN ON PAGE 2

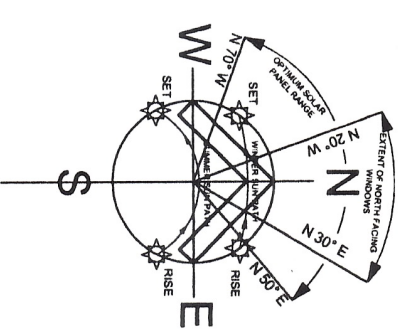
## SITE PLAN

SCALE 1:500

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS.

### LEGEND

- 90mm DIA. PVC STORMWATER PIPE
  - 100mm DIA. UPVC SEWER PIPE
  - AGRICULTURAL DRAIN WITH SILT PIT
  - METER BOX POSITION
  - EXTERNAL TAP
- NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERTFLOW RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.



I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00  
 (Signed).....Date:...../...../20.....  
 (Signed).....Date:...../...../20.....  
 (Signed).....Date:...../...../20.....

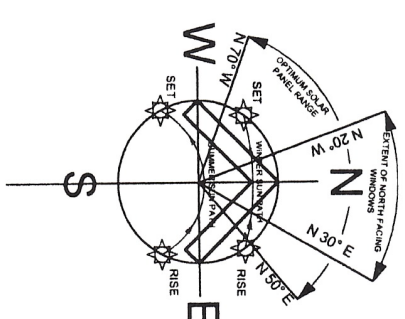
TERMITTE PRONE AREA: FLOOD PRONE AREA: BUSHFIRE PRONE AREA: WIND SPEED IF AVAILABLE: ALPINE AREA:	YES/NO YES/NO YES/NO N/A/N/A/N/A NO	ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.	AREA GROUND FLOOR: 131.40m <sup>2</sup> GARAGE: 37.65m <sup>2</sup> PORCH: 3.81m <sup>2</sup> PERGOLA: 3.05m <sup>2</sup> FIRST FLOOR: 118.95m <sup>2</sup> TOTAL: 294.86m <sup>2</sup>	SITE AREA SITE COVERAGE: N/A	MODIFIED GORTON 250 "CONTEMPORARY"	PROPOSED RESIDENCE FOR GLEN WAYERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAYERLEY
© - Copyright 2007 JG King Pty. Ltd.		7?? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)			DRAWN: RA	DATE: 08/03/2007
					CHECKED:	JOB No: M608155
						SHEET No: 1 of 10



# PRELIMINARY ONLY

## LEGEND

- 90mm DIA. PVC STORMWATER PIPE
  - 100mm DIA. UPVC SEWER PIPE
  - AGRICULTURAL DRAIN WITH SILT PIT
  - METER BOX POSITION
  - ⊕ EXTERNAL TAP
- NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERFLOW/RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.

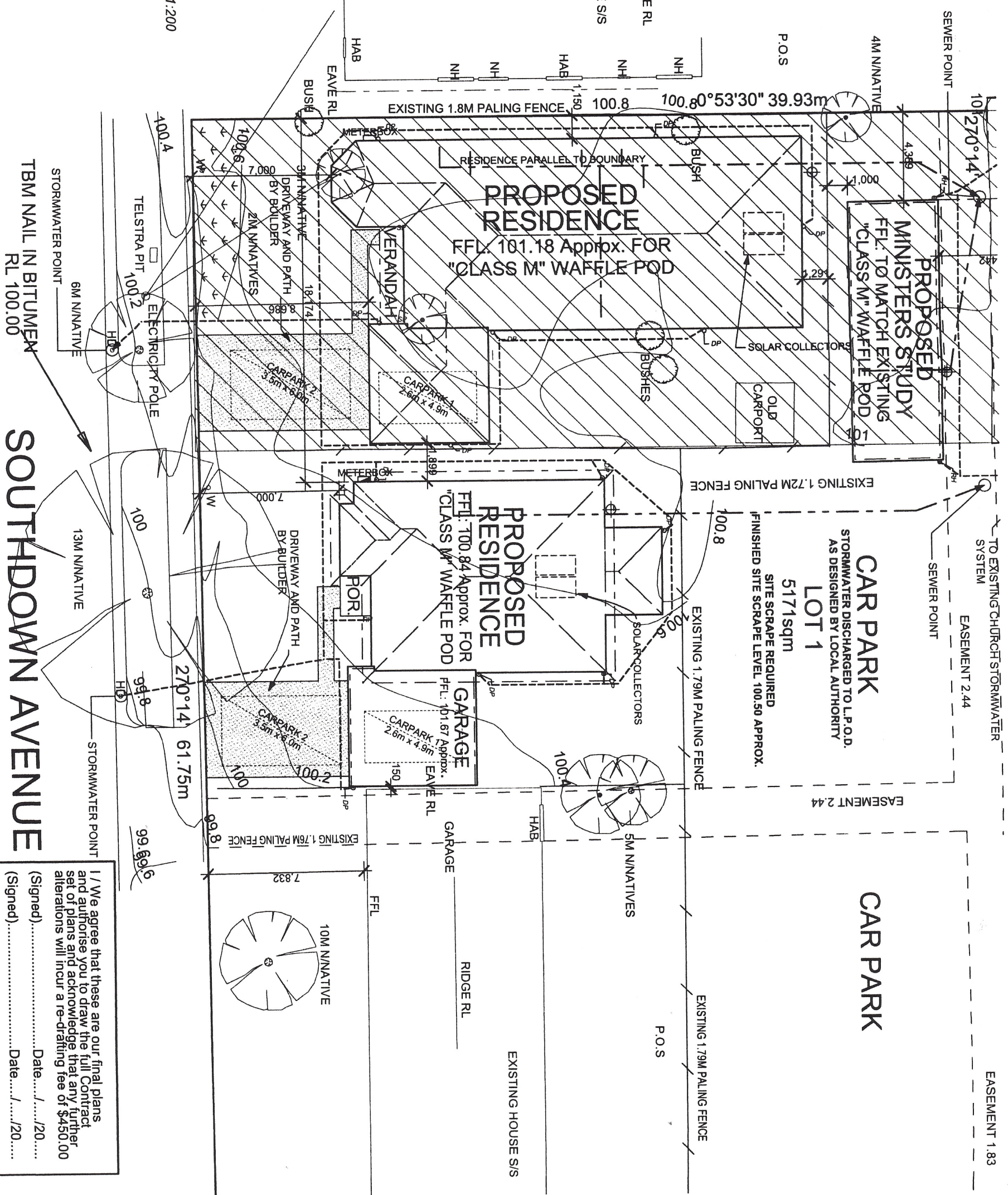


## PART SITE PLAN

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS.

SCALE 1:200

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
08/03/07	PRELIMINARY PLAN COMPLETED.	1 TO SALES



TBM NAIL IN BITUMEN RL 100.00

## SOUTHDOWN AVENUE

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 (Signed) ..... Date ...../...../20.....

**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  
 OFFICE USE ONLY  
 STEEL FRAME (APPROX ONLY.)

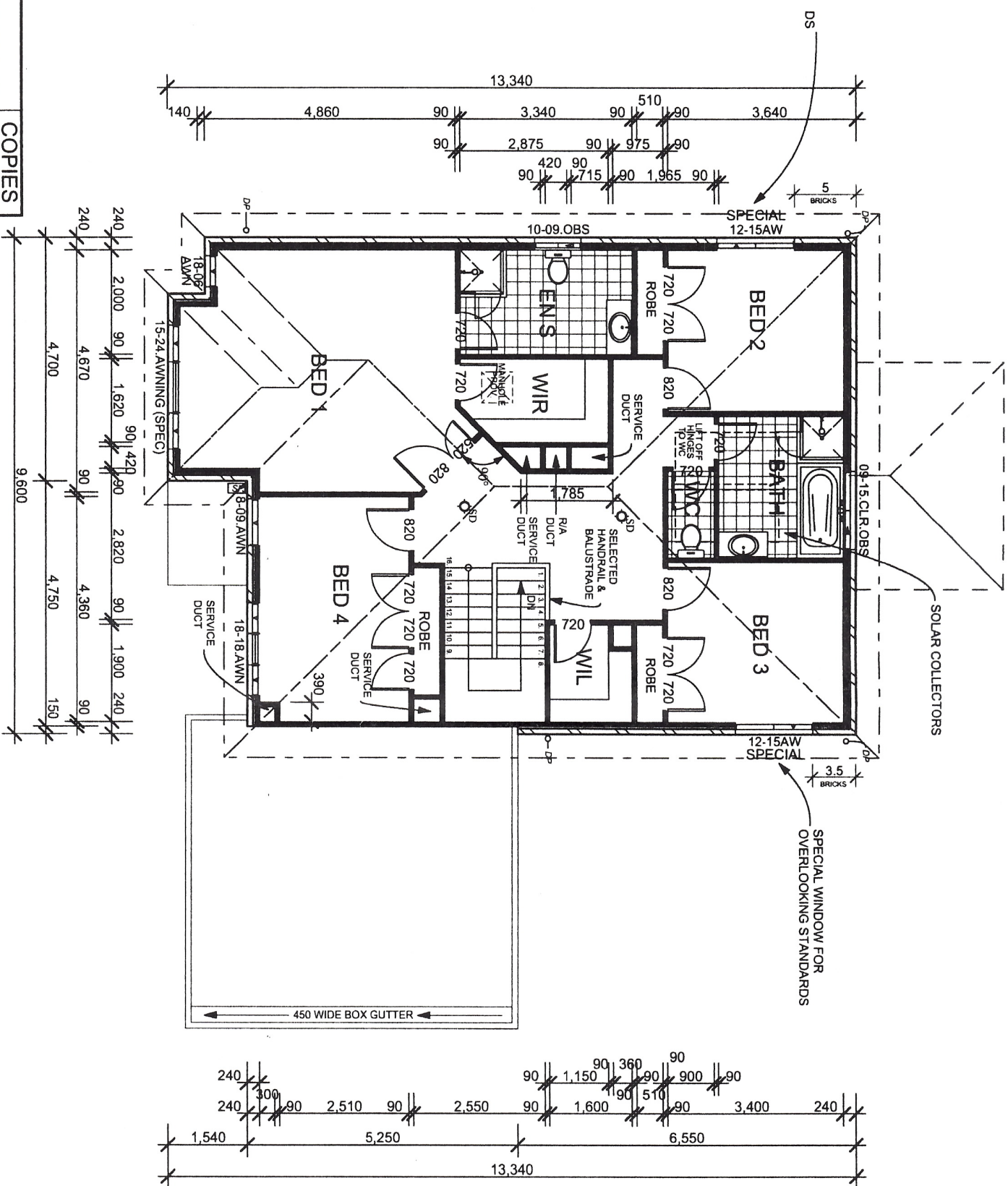
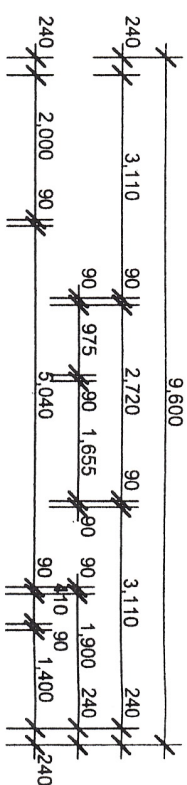
AREA GROUND FLOOR:	131.40m <sup>2</sup>
GARAGE:	37.65m <sup>2</sup>
PORCH:	3.81m <sup>2</sup>
PERGOLA:	3.05m <sup>2</sup>
FIRST FLOOR:	118.95m <sup>2</sup>
TOTAL:	294.86m <sup>2</sup>
SITE AREA:	N/A
SITE COVERAGE:	N/A

MODIFIED GORTON 250 "CONTEMPORARY"

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

DRAWN:	RA	CHECKED:	
DATE:	08/03/2007	JOB No.:	M608155
SHEET No.:	2	of 10	

# PRELIMINARY ONLY



## FIRST FLOOR PLAN

SCALE 1:100

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 South Melbourne, Vic. 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA: YES/NO  
 FLOOD PRONE AREA: YES/NO  
 BUSHFIRE PRONE AREA: YES/NO  
 WIND SPEED IF AVAILABLE: N1/N2/N3  
 ALPINE AREA: NO

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ALL EXTERNAL WALLS 240mm  
 UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm  
 UNLESS OTHERWISE SPECIFIED

AREA  
 GROUND FLOOR: 131.40m<sup>2</sup>  
 GARAGE: 37.65m<sup>2</sup>  
 PORCH: 3.81m<sup>2</sup>  
 PERGOLA: 3.05m<sup>2</sup>  
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 TOTAL: 294.86m<sup>2</sup>

MODIFIED  
 GORTON 250  
 "CONTEMPORARY"

PROPOSED RESIDENCE FOR  
 GLEN WAVERLEY UNITING CHURCH AT  
 LOT 17 SOUTHDOWN AVE.  
 GLEN WAVERLEY

DRAWN: RA

CHECKED:

DATE: 08/03/2007

JOB No.: M608155

SHEET No.: 4 of 10



### LEGEND

STAIRS TO BE CONSTRUCTED AS BELOW:  
 TREAD WIDTH: 250mm  
 RISER WIDTH: 173.75mm  
 HANDRAIL TO STAIR TO BE 865mm MIN.  
 ABOVE NOSING OF TREADS, 1000mm MIN.  
 ABOVE LANDINGS. PROVIDE BALUSTRADE  
 SO THAT A 125mm ø SPHERE MAY NOT  
 PASS THROUGH ANY PART OF IT.

BRICKWORK OVER ALL OPENINGS TO GROUND  
 FLOOR THAT ARE NOT UNDER EAVE.  
 PLINTH STRETCHER  
 BRICKS TO FRONT DOOR THRESHOLD.

ALL WRITTEN DIMENSIONS TAKE  
 PRECEDENCE OVER SCALED DIMENSIONS

LOCATION OF MANHOLE TO BE CONFIRMED BY  
 BUILDING SUPERVISOR IN CONJUNCTION TO  
 PLACEMENT OF CENTRAL HEATING UNIT.

450mm EAVE FROM BRICKWORK TO FIRST FLOOR  
 600mm EAVE FROM HARDPLANK TO FIRST FLOOR  
 NO EAVES TO GROUND FLOOR

ALL WINDOWS TO BE ALUMINIUM FRAMED  
 WITH SLIDING SASHES (AWNING WHERE SHOWN)  
 ALL GLAZING TO COMPLY WITH  
 A.S. 1288:2006 (DOORS & WINDOWS)  
 THERMALLY IMPROVED

CEILING & WALL INSULATION TO BE INSTALLED  
 AS PER F6 VICTORIAN BUILDING CODE OF  
 AUSTRALIA REGULATIONS  
 INSULATION AS PER BUILDING SPECIFICATION.

DOWNPIPES TO BE PROVIDED AT 1  
 PER 60m<sup>2</sup> OF ROOF AREA AND NO MORE  
 THAN 12m CENTRES MAX. EXCLUDING  
 BOX GUTTER AND RAINHEADS

TRAY DECK SHEET ROOFING @ 1° PITCH  
 STEEL TRUSSES @ 900 CTRS. MAX.  
 TO GARAGE & ENTRY PORCH

CONCRETE TILE ROOFING @ 23° PITCH  
 STEEL TRUSSES @ 900 CTRS. MAX.

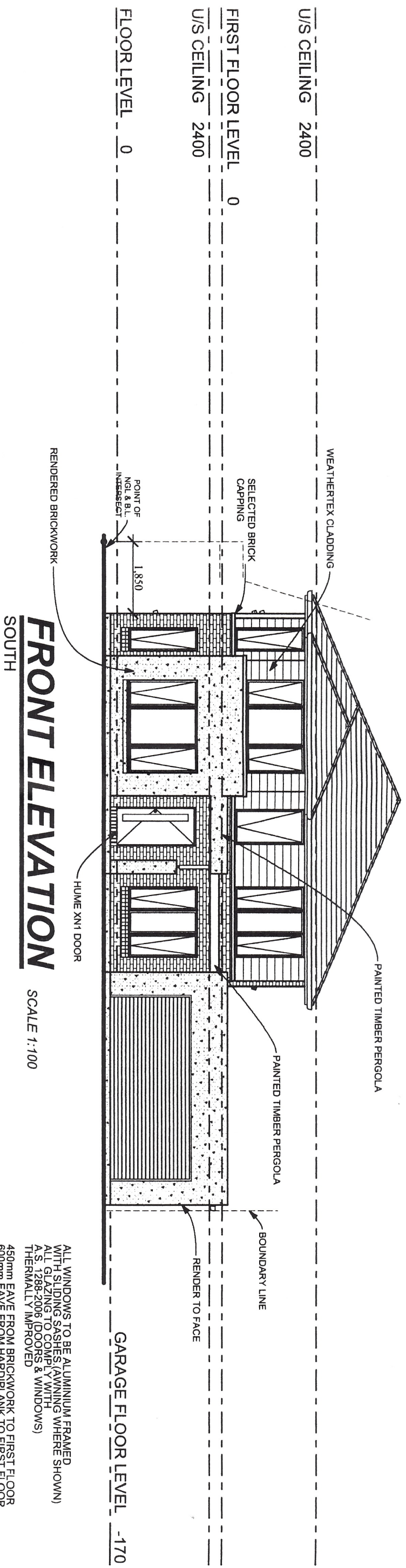
CERAMIC TILED AREAS SHOWN SUPPLIED  
 AND INSTALLED BY BUILDER.  
 BALANCE OF FLOOR COVERINGS BY OWNER.

CLASSIC INCLUSIONS TO RESIDENCE  
 CERAMIC TILED AREAS SHOWN SUPPLIED  
 AND INSTALLED BY BUILDER.

SMOKE DETECTION DEVICE TO BE  
 INSTALLED ADJACENT TO BEDROOM  
 AREAS IN ACCORDANCE WITH A.S. 3786.

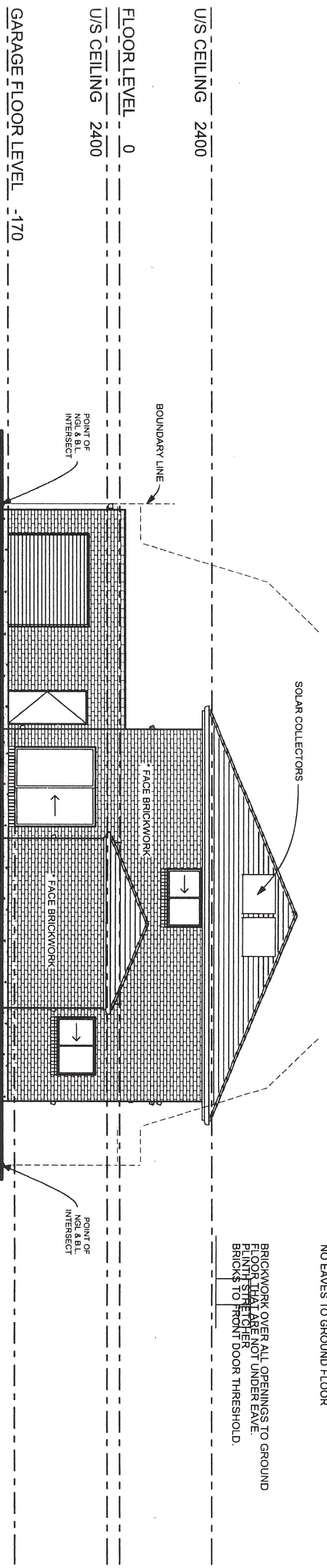
ALL WET AREAS TO BE COVERED BY  
 IMPERVIOUS FLOOR & WALL AS PER  
 A.S. 3740

# PRELIMINARY ONLY



ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS) THERMALLY IMPROVED  
 450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDIP LANK TO FIRST FLOOR NO EAVES TO GROUND FLOOR

BRICKWORK OVER ALL OPENINGS TO GROUND FLOOR THAT ARE NOT UNDER EAVE. PLINTH SHALL BE SET AT LEAST 100mm ABOVE BRICKS TO FRONT DOOR THRESHOLD.



## REAR ELEVATION

SCALE 1:100

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
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**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N/N/2/N3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED

OFFICE USE ONLY  
 ???? LINEAL METRES OF STEEL FRAME (APPROX ONLY)

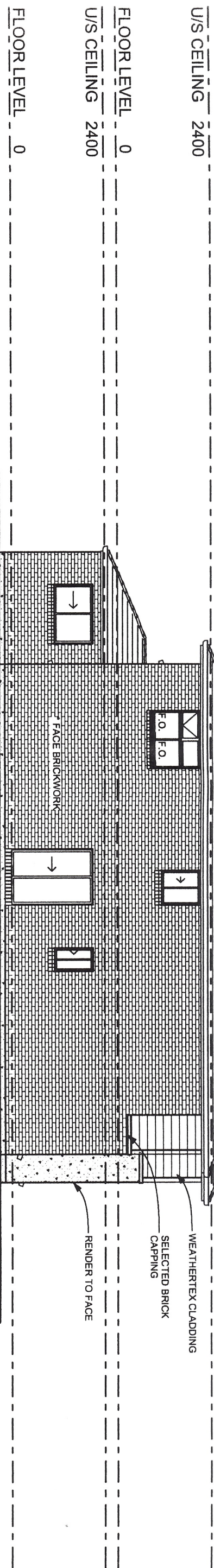
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GARAGE:	37.65m <sup>2</sup>
PORCH:	3.81m <sup>2</sup>
PERGOLA:	3.05m <sup>2</sup>
FIRST FLOOR:	118.95m <sup>2</sup>
TOTAL:	294.86m <sup>2</sup>
SITE AREA:	N/A
SITE COVERAGE:	N/A

MODIFIED  
 GORTON 250  
 "CONTEMPORARY"

PROPOSED RESIDENCE FOR  
 GLEN WAVERLEY UNITING CHURCH AT  
 LOT 17 SOUTHDOWN AVE.  
 GLEN WAVERLEY

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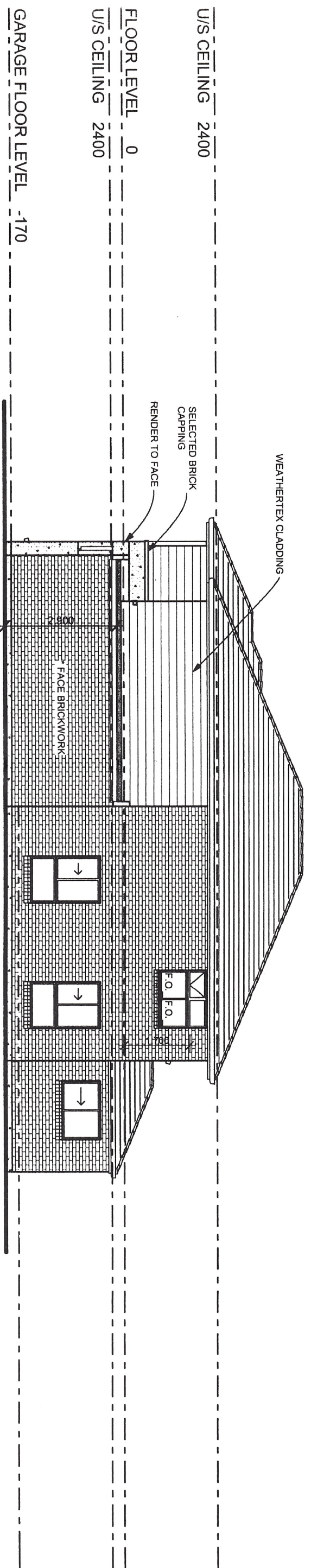
# PRELIMINARY ONLY



## LEFT ELEVATION

SCALE 1:100

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS) THERMALLY IMPROVED  
450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDPLANK TO FIRST FLOOR NO EAVES TO GROUND FLOOR



## RIGHT ELEVATION

SCALE 1:100

I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00  
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(Signed)..... Date...../...../20.....

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 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

**JG KING HOMES**

TERMITTE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N/N/2N/3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  
 OFFICE USE ONLY  
 777 LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

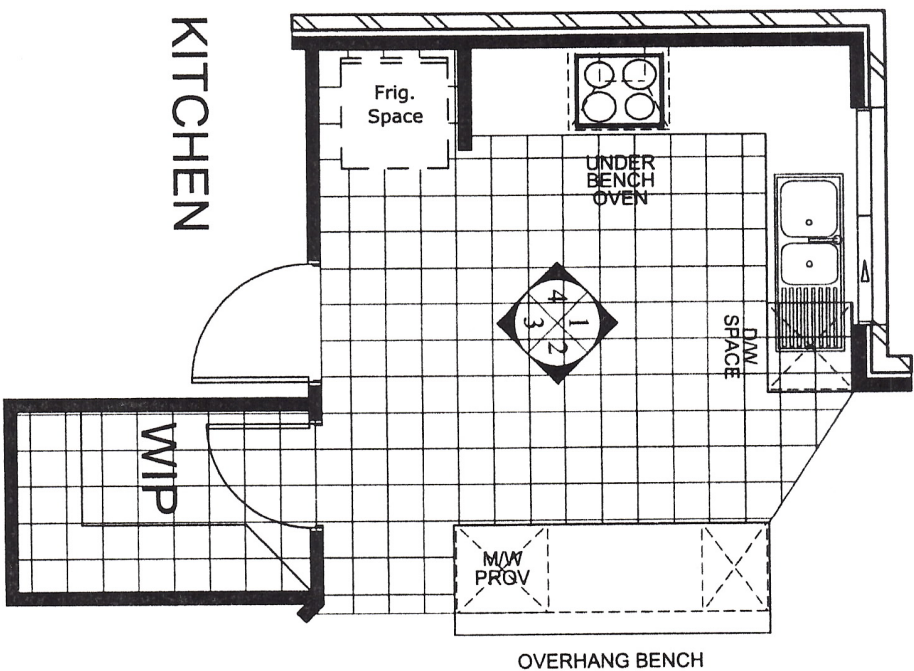
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TOTAL:	294.86m <sup>2</sup>

MODIFIED  
 GORTON 250  
 "CONTEMPORARY"

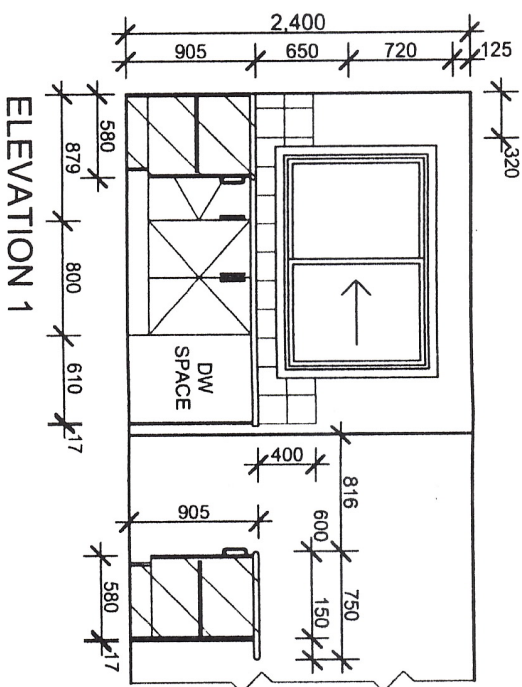
PROPOSED RESIDENCE FOR  
 GLEN WAVERLEY UNITING CHURCH AT  
 LOT 17 SOUTHDOWN AVE.  
 GLEN WAVERLEY

DRAWN:	RA	CHECKED:		DATE:	08/03/2007	JOB No:	M608155	SHEET No:	6 of 10
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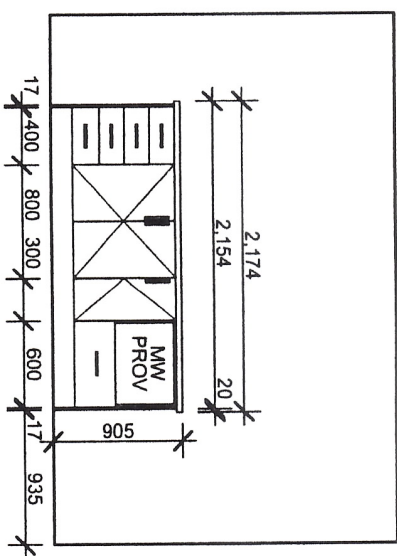
# PRELIMINARY ONLY



OVERHANG BENCH

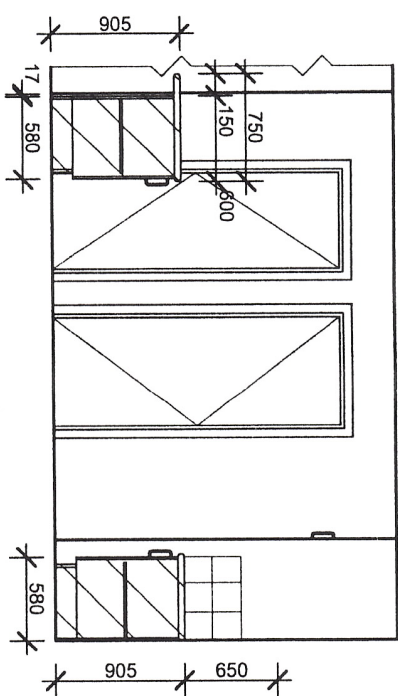


ELEVATION 1

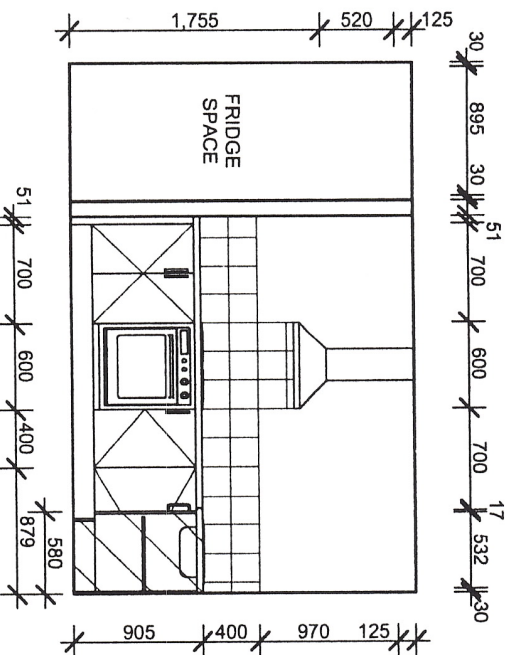


ELEVATION 2

NOTE: LHS BASE CABINET NOT SHOWN FOR CLARITY



ELEVATION 3



ELEVATION 4

## JOINERY DETAILS

SCALE 1:50

DIMENSIONS GIVEN ARE FOR JOINERY ONLY.  
ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

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TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N/N/ND/NS  
ALPINE AREA: NO

ALL EXTERNAL WALLS 240mm  
UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm  
UNLESS OTHERWISE SPECIFIED.  
OFFICE USE ONLY  
??? LINEAL METRES OF  
STEEL FRAME (APPROX ONLY)

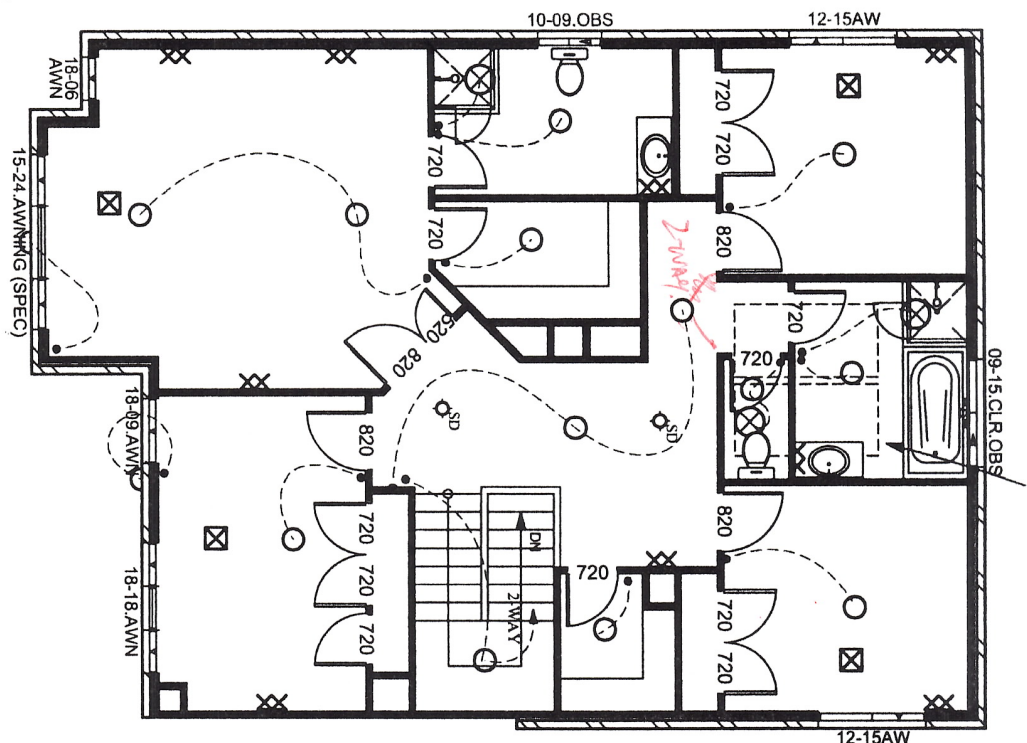
AREA  
GROUND FLOOR: 131.40m<sup>2</sup>  
GARAGE: 37.65m<sup>2</sup>  
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PERGOLA: 3.05m<sup>2</sup>  
FIRST FLOOR: 118.95m<sup>2</sup>  
TOTAL: 294.86m<sup>2</sup>  
SITE AREA  
SITE COVERAGE: N/A

MODIFIED  
GORTON 250  
"CONTEMPORARY"

PROPOSED RESIDENCE FOR  
GLEN WAVERLEY UNITING CHURCH AT  
LOT 17 SOUTHDOWN AVE.  
GLEN WAVERLEY

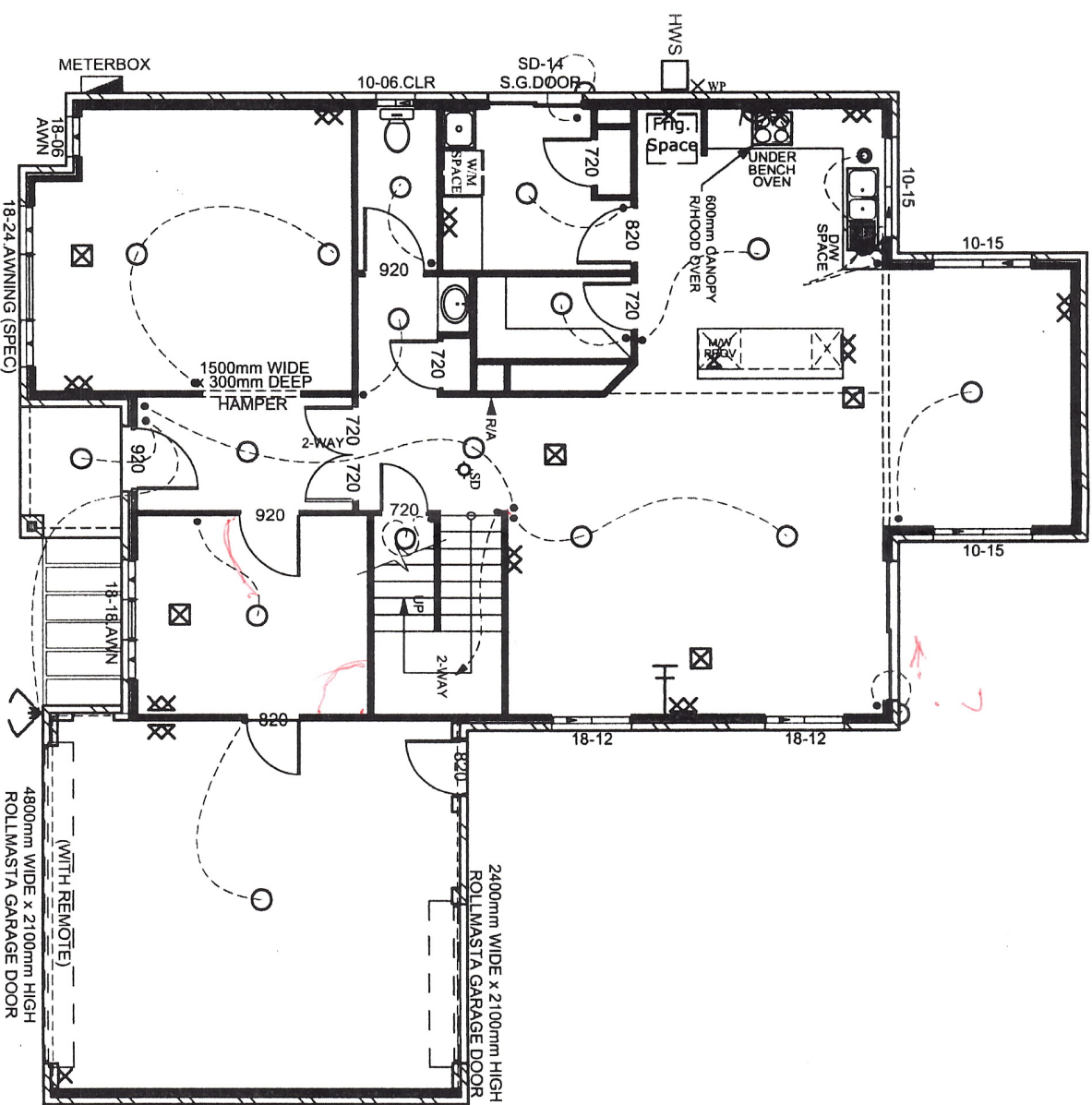
DRAWN: RA  
CHECKED:  
DATE: 08/03/2007  
JOB No: M608155  
SHEET No: 7 of 10

# PRELIMINARY ONLY



## FIRST FLOOR

SCALE 1:100



## ELECTRICAL PLAN

SCALE 1:100

NOTE: HEATING REGISTER LOCATIONS TO BE CONFIRMED AND LOCATED AS PER MANUFACTURERS SPECIFICATIONS

LEGEND OF SYMBOLS		QTY
○	INCANDESCENT LIGHT (INTERNAL)	29
◻	INCANDESCENT LIGHT (EXTERNAL)	2
⊗	DOUBLE GENERAL PURPOSE OUTLET	21#
⊗	SINGLE GPO WEATHER PROOF	N/A
⊗	DOUBLE GPO WEATHER PROOF	N/A
⊗	SINGLE GENERAL PURPOSE OUTLET	5*
⊗	DIRECT WIRE APPLIANCE	1
⊗	EXHAUST FAN (DUCTED)	3
⊗	170k GAS BOOSTED - OPEN CIRCUIT SOLAR HOT WATER SYSTEM	1
⊗	SMOKE DETECTOR	3
⊗	TELEVISION COAXIAL POINT	1
⊗	HPM/FAN/LIGHT/HEAT LAMP (2 LAMPS)	N/A
⊗	HPM/FAN/LIGHT/HEAT LAMP (4 LAMPS)	N/A
⊗	FLUORESCENT LIGHT TUBE (TWIN)	N/A
⊗	RECESSED DOWN LIGHTS	2
⊗	HEATING DUCT OUTLETS	N/A
⊗	VACUUM SYSTEM INLETS	9
⊗	DUCTED VACUUM SYSTEM	N/A
⊗	EVAPORATIVE COOLING OUTLET	N/A
⊗	CEILING FAN	N/A
⊗	SPOTLIGHT	N/A
⊗	SENSOR LIGHT	1
⊗	PHONE POINT	N/A
⊗	COACHLIGHT	N/A
⊗	ADDITIONAL	N/A

\* INCLUDE 1x15 AMPERE OUTLET TO DISHWASHER SPACE  
# INCLUDE OUTLET IN CEILING SPACE FOR CENTRAL HEATING UNIT

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TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N/N/2/3  
ALPINE AREA: NO

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ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR: 131.40m<sup>2</sup>  
GARAGE: 37.65m<sup>2</sup>  
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OFFICE USE ONLY  
STEEL FRAME (APPROX ONLY)

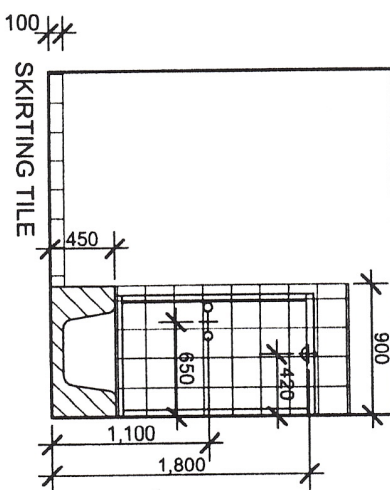
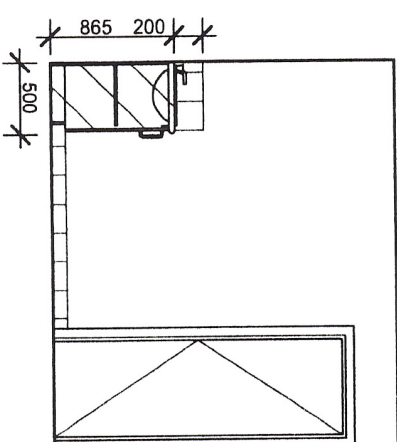
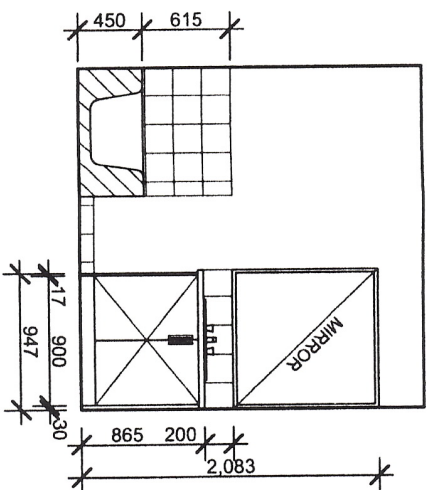
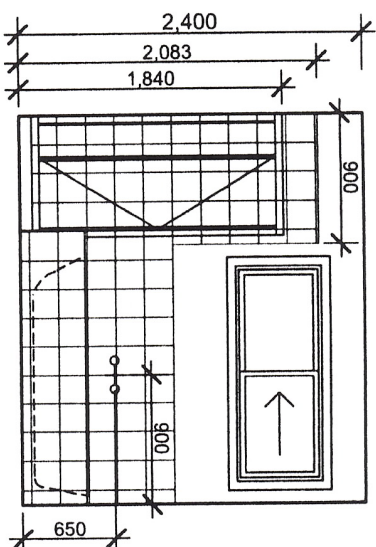
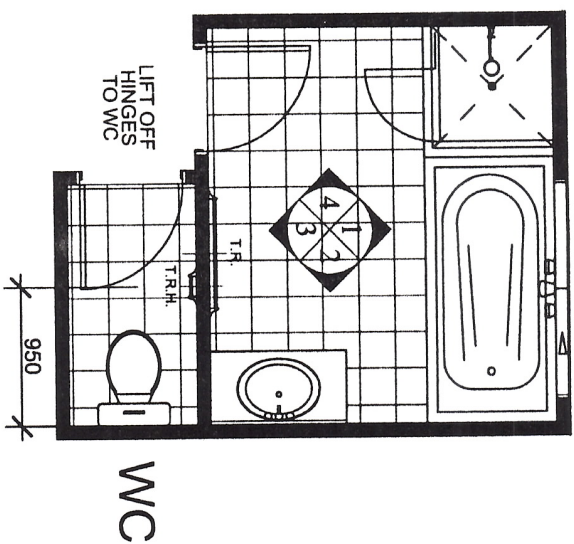
MODIFIED GORTON 250 "CONTEMPORARY"  
DRAWN: RA CHECKED:  
DATE: 08/03/2007 JOB No: M608155 SHEET No: 10 of 10

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00  
(Signed).....Date...../...../20.....  
(Signed).....Date...../...../20.....



# PRELIMINARY ONLY



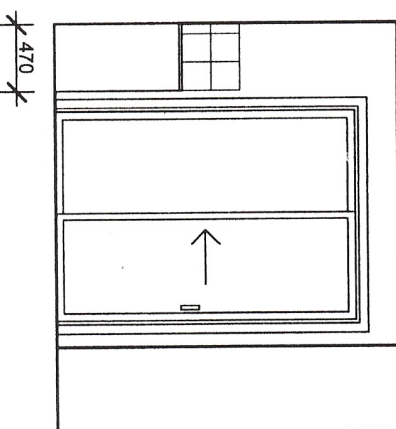
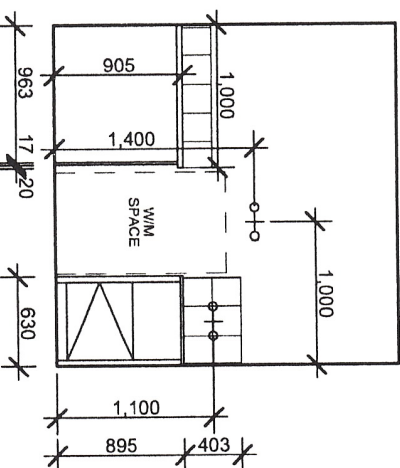
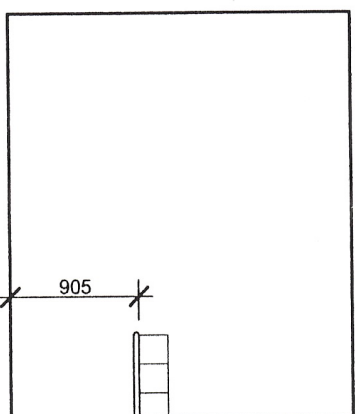
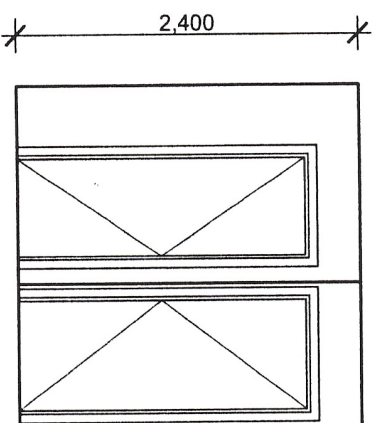
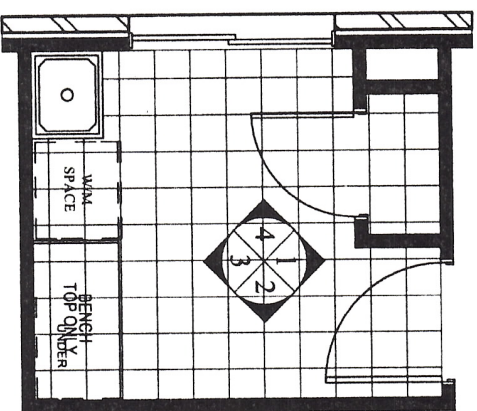
BATHROOM

ELEVATION 1

ELEVATION 2

ELEVATION 3

ELEVATION 4



LAUNDRY

ELEVATION 1

ELEVATION 2

ELEVATION 3

ELEVATION 4

## JOINERY DETAILS

SCALE 1:50

DIMENSIONS GIVEN ARE FOR JOINERY ONLY.  
ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00  
(Signed) ..... Date ..... / ..... / 20 .....  
(Signed) ..... Date ..... / ..... / 20 .....  
(Signed) ..... Date ..... / ..... / 20 .....

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
08/03/07	PRELIMINARY PLAN COMPLETED.	1 TO SALES

**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic, 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  
OFFICE USE ONLY  
STEEL FRAME (APPROX ONLY.)

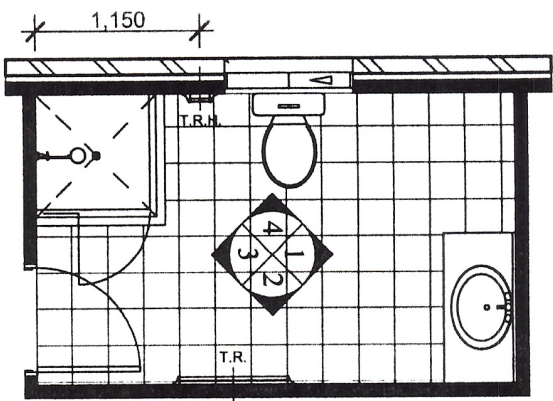
AREA	131,40m <sup>2</sup>
GROUND FLOOR:	37,65m <sup>2</sup>
GARAGE:	3,81m <sup>2</sup>
PORCH:	3,05m <sup>2</sup>
PERGOLA:	119,95m <sup>2</sup>
FIRST FLOOR:	294,96m <sup>2</sup>
TOTAL:	N/A
SITE AREA	N/A
SITE COVERAGE:	N/A

MODIFIED  
GORTON 250  
"CONTEMPORARY"

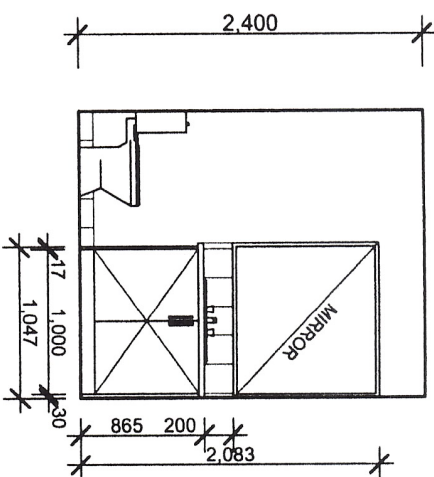
PROPOSED RESIDENCE FOR  
GLEN WAVERLEY UNITING CHURCH AT  
LOT 17 SOUTHDOWN AVE.  
GLEN WAVERLEY

DRAWN:	RA	CHECKED:		DATE:	08/03/2007	JOB NO.:	M608155	SHEET NO.:	8	OF	10
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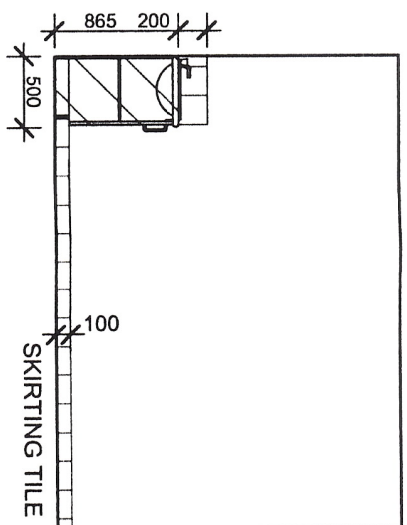
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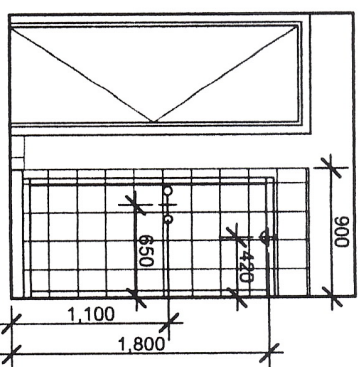
EN SUITE



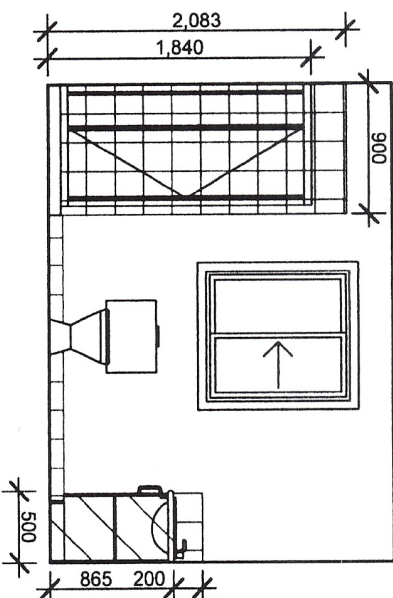
ELEVATION 1



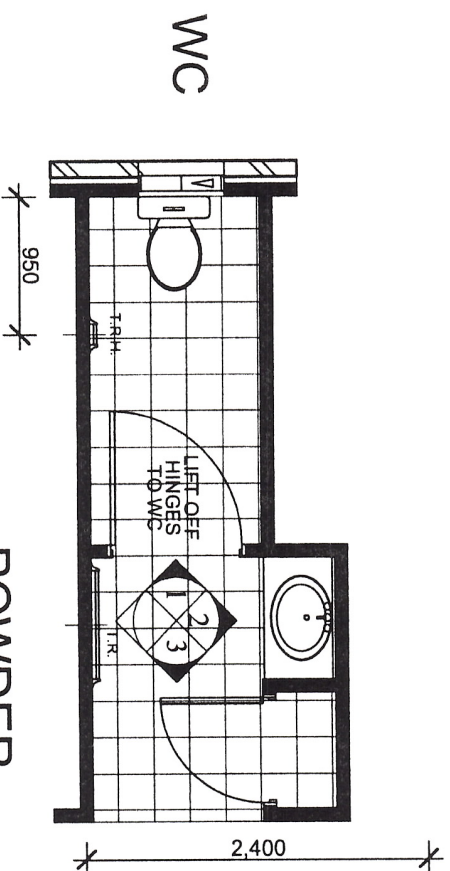
ELEVATION 2



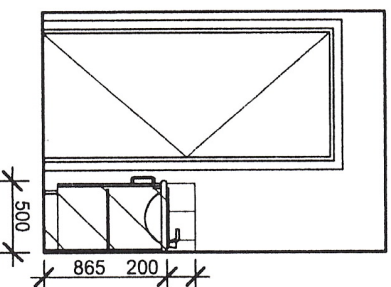
ELEVATION 3



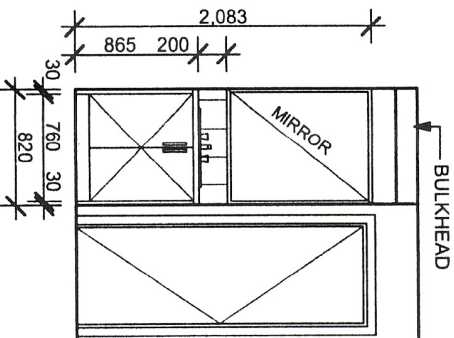
ELEVATION 4



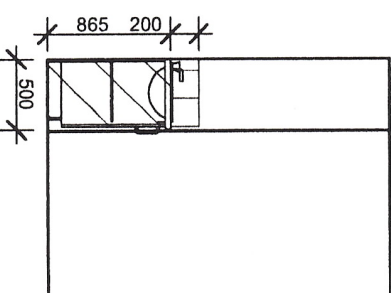
POWDER



ELEVATION 1



ELEVATION 2



ELEVATION 3

ROOM NAME	FLOOR m2	WALLS m2
KITCHEN	12.81	2.00
EN SUITE	5.38	3.88
BATHROOM	3.98	7.13
ENTRY	9.77	N/A
W.C.	1.49	N/A
LAUNDRY	5.46	0.41
PASSAGE	N/A	N/A
FAMILY/MEALS	N/A	N/A
POWDER/WC	5.60	0.36
TOTAL	44.49	13.78

## TILING AREAS

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
777 LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: 131.40m<sup>2</sup>  
GARAGE: 37.65m<sup>2</sup>  
PORCH: 3.81m<sup>2</sup>  
PERGOLA: 3.05m<sup>2</sup>  
FIRST FLOOR: 118.95m<sup>2</sup>  
TOTAL: 294.86m<sup>2</sup>

SITE AREA N/A  
SITE COVERAGE: N/A

MODIFIED GORTON 250 "CONTEMPORARY"

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

## JOINERY DETAILS

SCALE 1:50

DIMENSIONS GIVEN ARE FOR JOINERY ONLY. ALLOWANCES HAVE BEEN MADE FOR PLASTER WHERE APPLICABLE

I / We agree that these are our final plans and authorise you to draw the full Contract set of plans and acknowledge that any further alterations will incur a re-drafting fee of \$450.00  
(Signed)..... Date: / / 20  
(Signed)..... Date: / / 20  
(Signed)..... Date: / / 20

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES
08/03/07	PRELIMINARY PLAN COMPLETED.	1 TO SALES



**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic, 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N/N/2N/3  
ALPINE AREA: NO

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777 LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: 131.40m<sup>2</sup>  
GARAGE: 37.65m<sup>2</sup>  
PORCH: 3.81m<sup>2</sup>  
PERGOLA: 3.05m<sup>2</sup>  
FIRST FLOOR: 118.95m<sup>2</sup>  
TOTAL: 294.86m<sup>2</sup>

SITE AREA N/A  
SITE COVERAGE: N/A

MODIFIED GORTON 250 "CONTEMPORARY"

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

DATE: 08/03/2007

JOB No: M608155

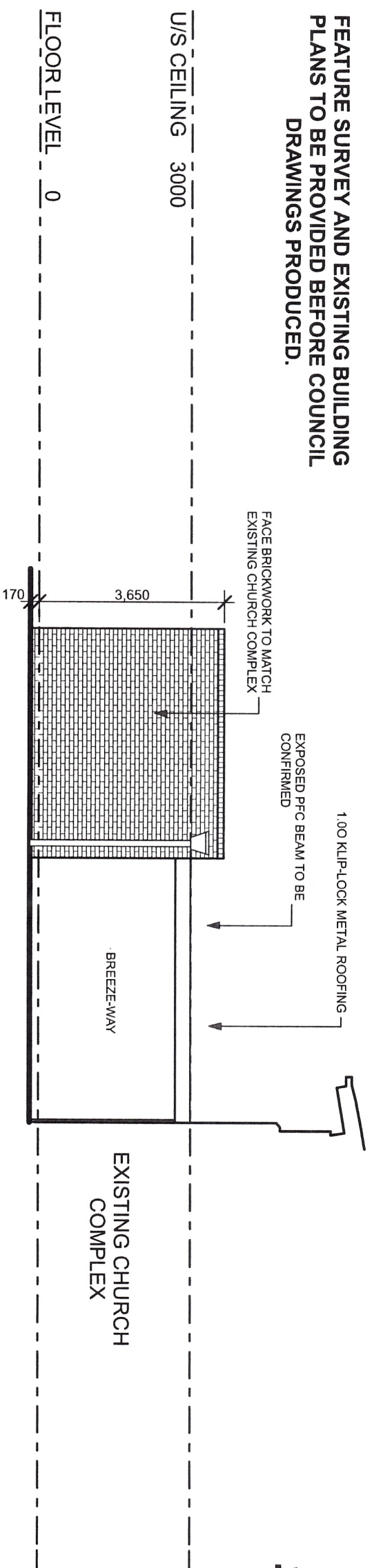
SHEET No: 9 of 10





FEATURE SURVEY AND EXISTING BUILDING  
PLANS TO BE PROVIDED BEFORE COUNCIL  
DRAWINGS PRODUCED.

**SKETCH ONLY**



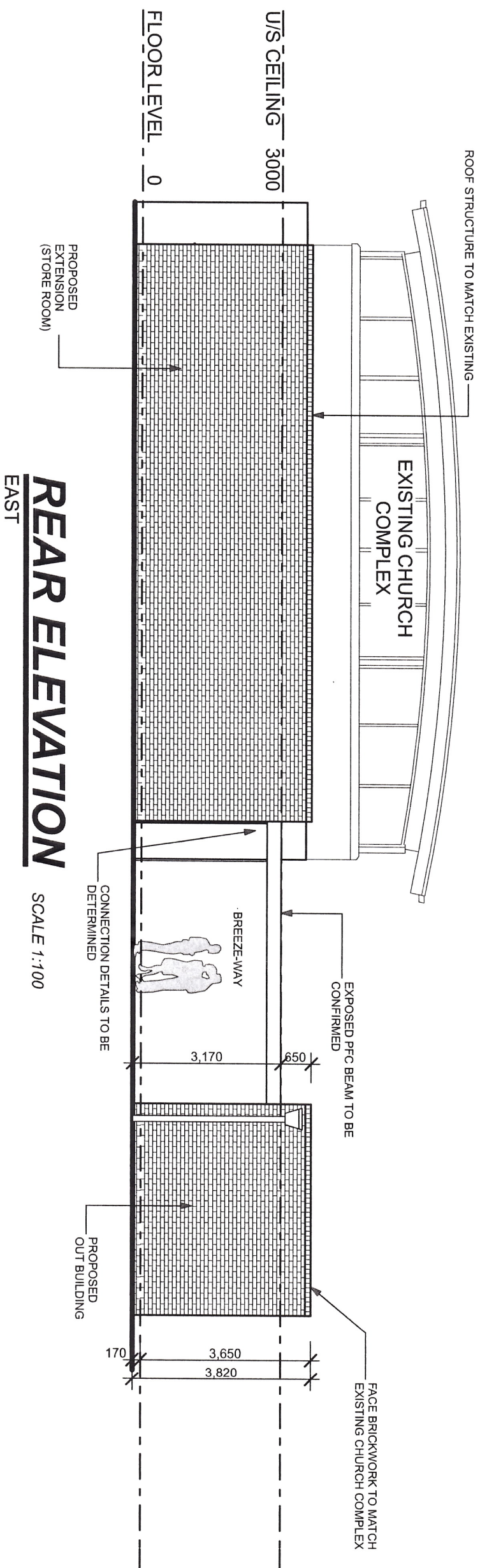
**FRONT ELEVATION** SCALE 1:100  
EAST

DOWNPIPES TO BE PROVIDED AT 1 PER 60m<sup>2</sup> OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX. EXCLUDING BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES  
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED  
NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION JOINTS



**REAR ELEVATION** SCALE 1:100  
EAST

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic, 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355

**JG KING HOMES**

Quality Endorsed Company

TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N1/N2/N3  
ALPINE AREA: NO

ALL EXTERNAL WALLS 240mm  
UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm  
UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
7?? LINEAL METRES OF  
STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: 58.50m<sup>2</sup>  
BREEZE-WAY: 69.62m<sup>2</sup>  
STORE ROOM: 42.70m<sup>2</sup>  
TOTAL: 170.82m<sup>2</sup>

SITE AREA: N/A  
SITE COVERAGE: N/A

**CUSTOM**

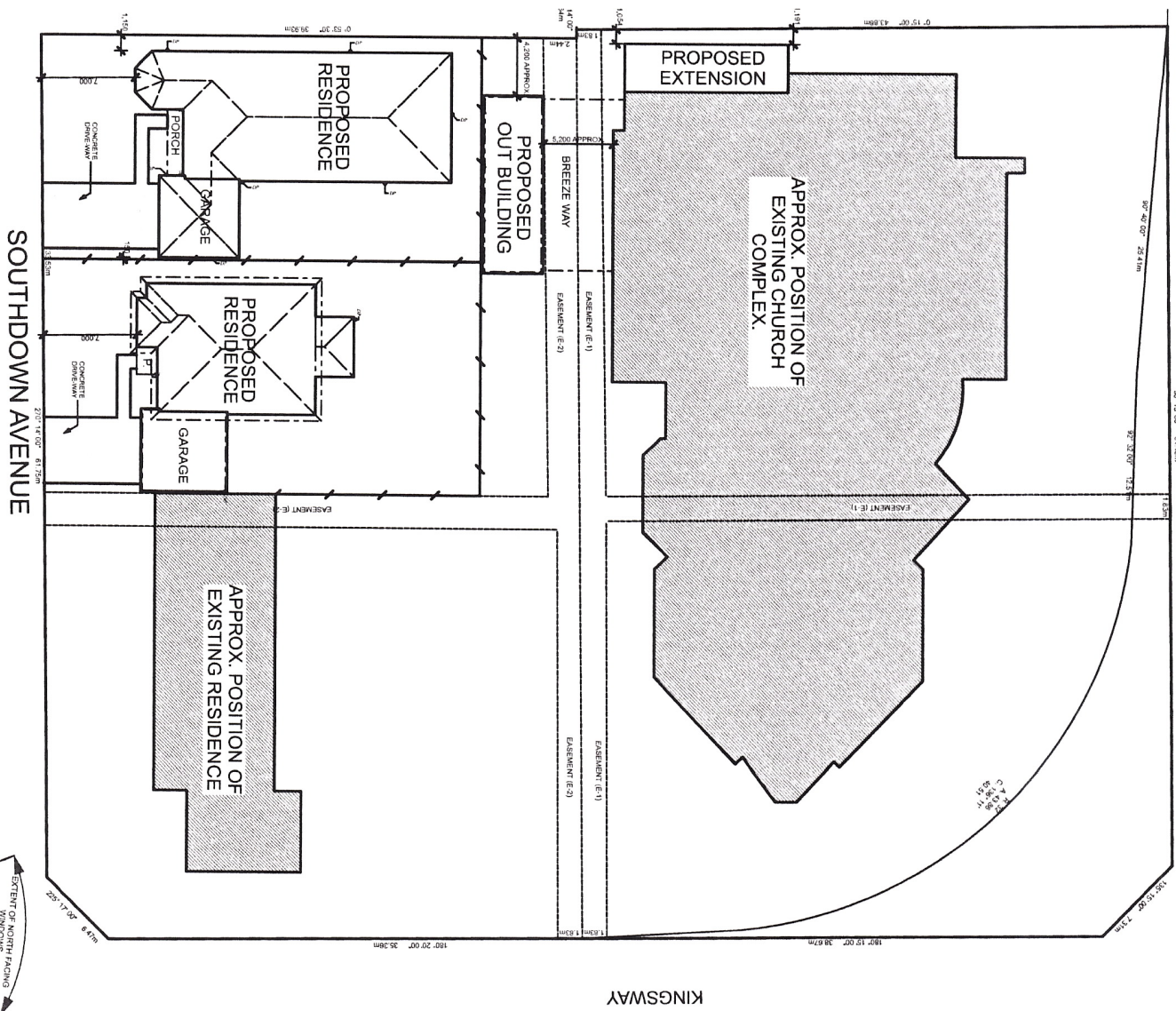
DRAWN: RKA  
CHECKED:

PROPOSED OUTBUILDING & STORE ROOM  
UNITING CHURCH AT  
CORNERS OF BOGONG AVENUE AND  
KINGS WAY, GLEN WAVERLY

DATE: 5/12/2006  
JOB No: M608153  
SHEET No: 3 of 4

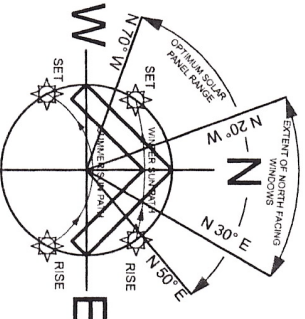


BOGONG AVENUE



**SITE PLAN** SCALE 1:500

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES

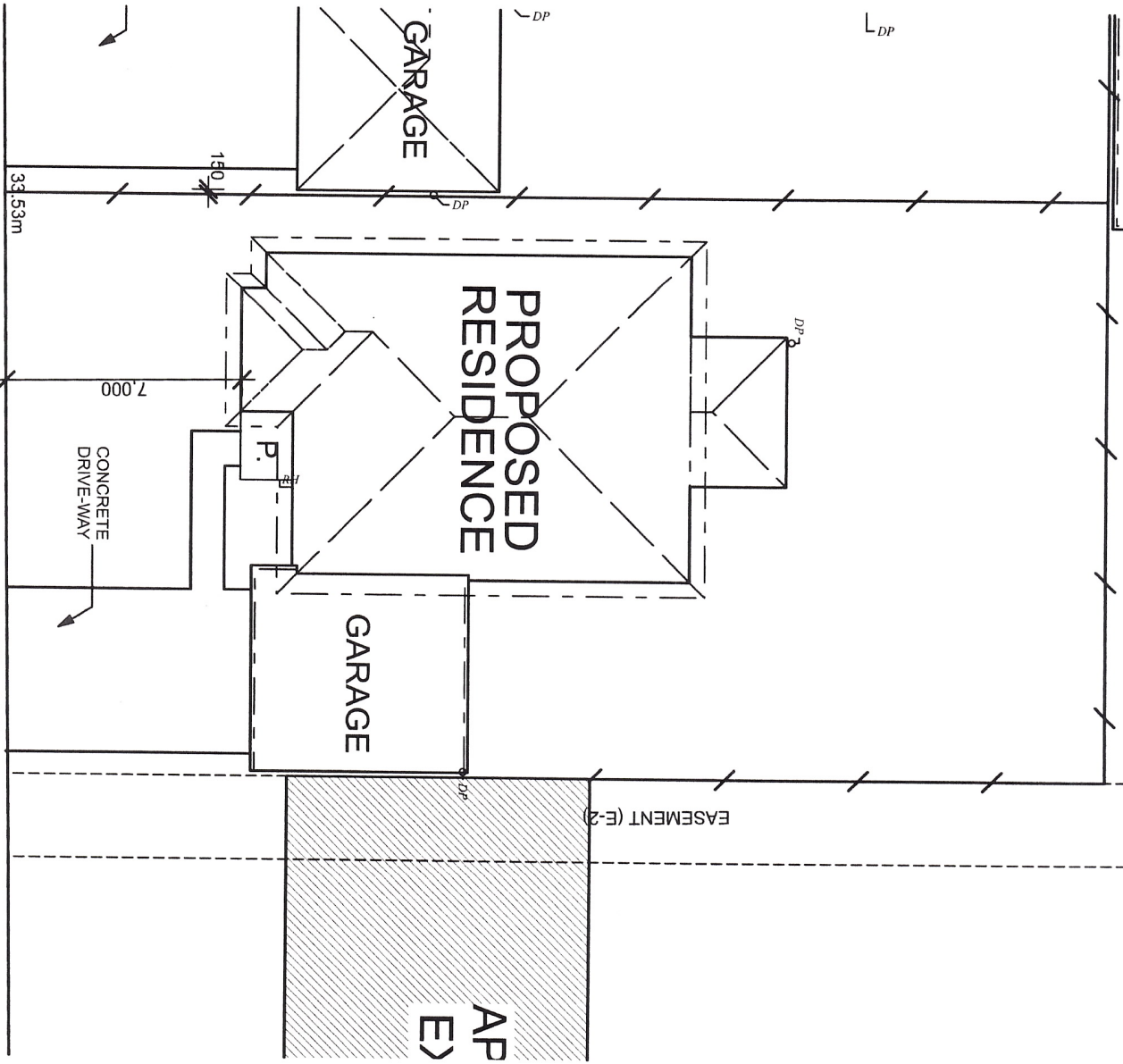


**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

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**USED BUILDING**



**SOUTHDOWN AVENUE**

**PART SITE PLAN** SCALE 1:200

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER THE COMPLETION OF SITE WORKS.

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

AREA GROUND FLOOR:	131.40m <sup>2</sup>
GARAGE:	118.95m <sup>2</sup>
PERGOLA:	3.81m <sup>2</sup>
VERANDAH:	3.05m <sup>2</sup>
TOTAL:	291.81m <sup>2</sup>
SITE AREA:	??,??m <sup>2</sup>
SITE COVERAGE:	??%

MODIFIED GORTON 250 "CONTEMPORARY"

PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY

DRAWN:	RP	CHECKED:		DATE:	04/12/2006	JOB NO.:	M608155	SHEET NO.:	1	of	6
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**SKETCH ONLY NOTES:**

**GENERAL**

- LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A.S.2870-1996
- ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS & FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.

**CONCRETE SLABS & FOOTINGS**

- ALL CONCRETE TO HAVE A STRENGTH OF 20MPa
- ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870-1-1996.
- LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AS NOTED ABOVE.
- ALLOWABLE BEARING PRESSURE OF SOIL: UNDER STRIP OR PAD FOOTINGS - 100 kPa - 50 kPa POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB.
- TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

**WINDOWS & DOORS**

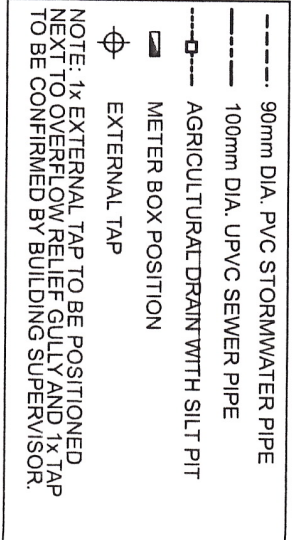
- ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINIUM FRAMED UNLESS OTHERWISE NOTED.

**ROOF STRUCTURE**

- ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL.
- CEILING BATTENS TO BE 25mm "TOP HAT" SECTION.
- ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN.
- REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS.

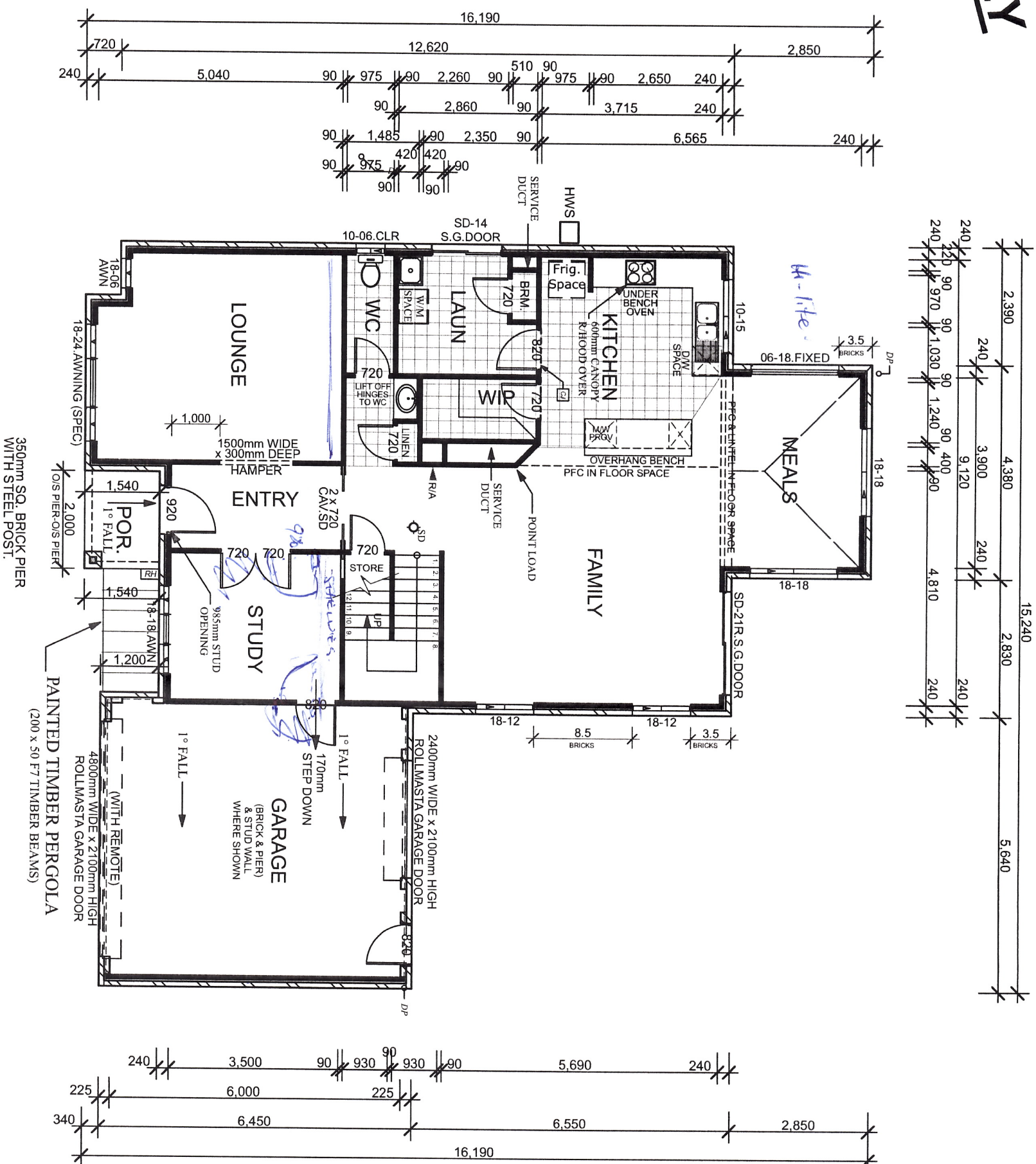
**WALL FRAMING**

- FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.
- FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.
- WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL.



NOTE: 1x EXTERNAL TAP TO BE POSITIONED NEXT TO OVERFLOW RELIEF GULLY AND 1x TAP TO BE CONFIRMED BY BUILDING SUPERVISOR.

# SKETCH ONLY



## GROUND FLOOR PLAN

SCALE 1:100

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES

**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
 ??? LINEAL METRES OF STEEL FRAME (APPROX ONLY)

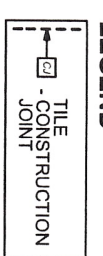
AREA GROUND FLOOR:	131.40m <sup>2</sup>
GARAGE:	118.95m <sup>2</sup>
PORCH:	3.81m <sup>2</sup>
PERGOLA:	3.05m <sup>2</sup>
VERANDAH:	N/A
TOTAL:	291.81m <sup>2</sup>
SITE AREA:	77.77m <sup>2</sup>
SITE COVERAGE:	77%

**MODIFIED GORTON 250 "CONTEMPORARY"**

**PROPOSED RESIDENCE FOR GLEN WAVERLEY UNITING CHURCH AT LOT 17 SOUTHDOWN AVE. GLEN WAVERLEY**

DATE:	04/12/2006
JOB No.:	M608155
SHEET No.:	2 of 6

BRICKWORK OVER ALL OPENINGS TO GROUND FLOOR THAT ARE NOT UNDER EAVE (EXCLUDING GARAGE VEHICLE ACCESS DOOR, HARDI PLANK OVER PLINTH STRETCHER BRICKS TO FRONT DOOR THRESHOLD.)



**LEGEND**

TILE CONSTRUCTION

JOINT

STAIRS TO BE CONSTRUCTED AS BELOW:  
 TREAD WIDTH: 250mm  
 RISER WIDTH: 172.31mm  
 HANDRAIL TO STAIR TO BE 865mm MIN. ABOVE NOSING OF TREADS. 1000mm MIN. ABOVE LANDINGS. PROVIDE BALUSTRADING SO THAT A 125mm Ø SPHERE MAY NOT PASS THROUGH ANY PART OF IT.

LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT.

ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

NOTE: A.J DENOTES ARTICULATION JOINTS

450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDIPLANK TO FIRST FLOOR

ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALLS PER A.S. 3740

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

CLASSIC INCLUSIONS TO RESIDENCE

CERAMIC TILED AREAS SHOWN SUPPLIED AND INSTALLED BY BUILDER.

CERAMIC TILED AREAS'S SHOWN SUPPLIED AND INSTALLED BY BUILDER. BALANCE OF FLOOR COVERINGS BY OWNER.

CONCRETE TILE ROOFING @ 23° PITCH STEEL TRUSSES @ 900 CTRS. MAX.

TRAY DECK SHEET ROOFING @ 1° PITCH STEEL TRUSSES @ 900 CTRS. MAX. TO GARAGE & ENTRY PORCH

DOWNPIPES TO BE PROVIDED AT 1 PER 60m<sup>2</sup> OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX. EXCLUDING BOX GUTTER AND RAINEHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER FB VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS.

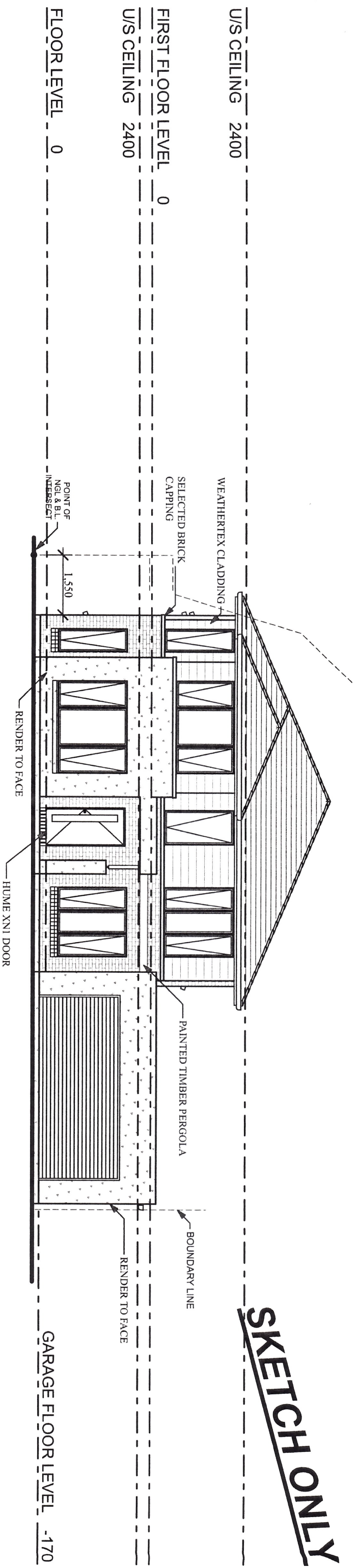
INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS) THERMALLY IMPROVED





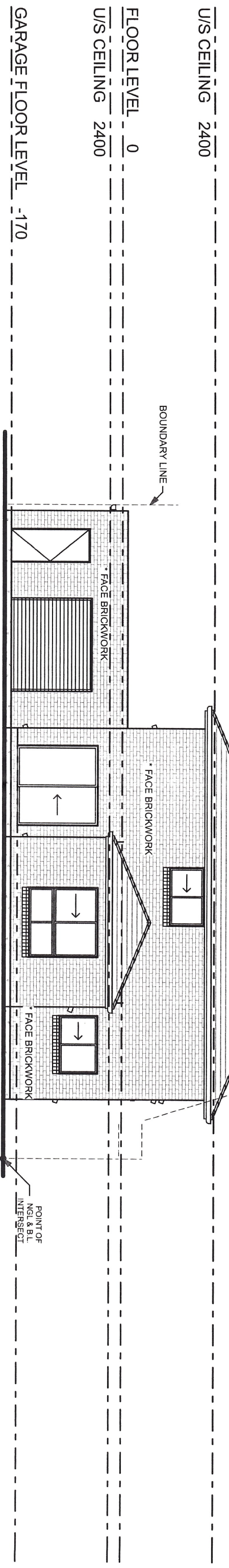
**SKETCH ONLY**



**FRONT ELEVATION**  
SCALE 1:100  
SOUTH

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1286-2006 (DOORS & WINDOWS) THERMALLY IMPROVED  
450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDIPLANK TO FIRST FLOOR

NOTE: A.J DENOTES ARTICULATION JOINTS



**REAR ELEVATION**  
SCALE 1:100  
NORTH

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES

**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic. 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N1/N2/N3 ALPINE AREA: NO

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ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED. ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
?? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: 131.40m<sup>2</sup>  
GARAGE: 118.95m<sup>2</sup>  
PORCH: 3.81m<sup>2</sup>  
PERGOLA: 3.05m<sup>2</sup>  
VERANDAH: N/A  
TOTAL: 291.81m<sup>2</sup>

SITE AREA 77.77m<sup>2</sup>  
SITE COVERAGE: 77%

MODIFIED  
GORTON 250  
"CONTEMPORARY"

DRAWN: RP  
CHECKED:

PROPOSED RESIDENCE FOR  
GLEN WAVERLEY UNITING CHURCH AT  
LOT 17 SOUTHDOWN AVE.  
GLEN WAVERLEY

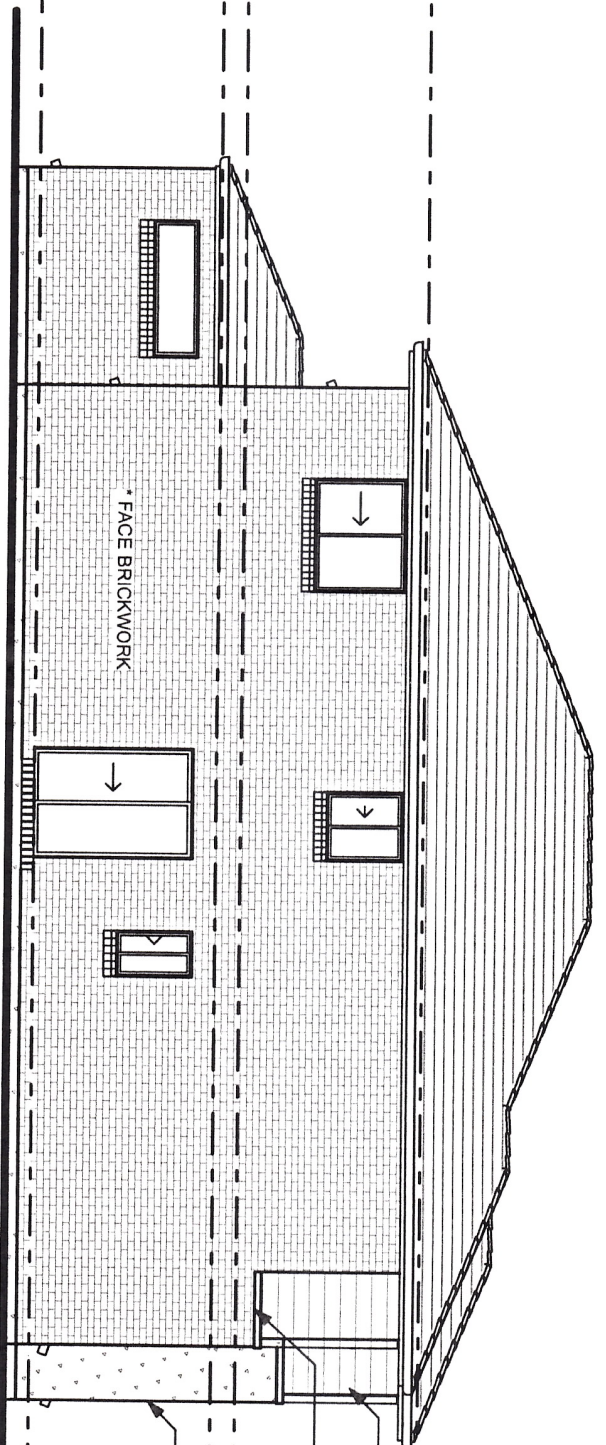
DATE: 04/12/2006  
JOB No: M608155  
SHEET No: 4 of 6

U/S CEILING 2400

FLOOR LEVEL 0

U/S CEILING 2400

FLOOR LEVEL 0



**SKETCH ONLY**

# LEFT ELEVATION

WEST

SCALE 1:100

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES (AWNING WHERE SHOWN) ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (DOORS & WINDOWS) THERMALLY IMPROVED

450mm EAVE FROM BRICKWORK TO FIRST FLOOR 600mm EAVE FROM HARDPLANK TO FIRST FLOOR

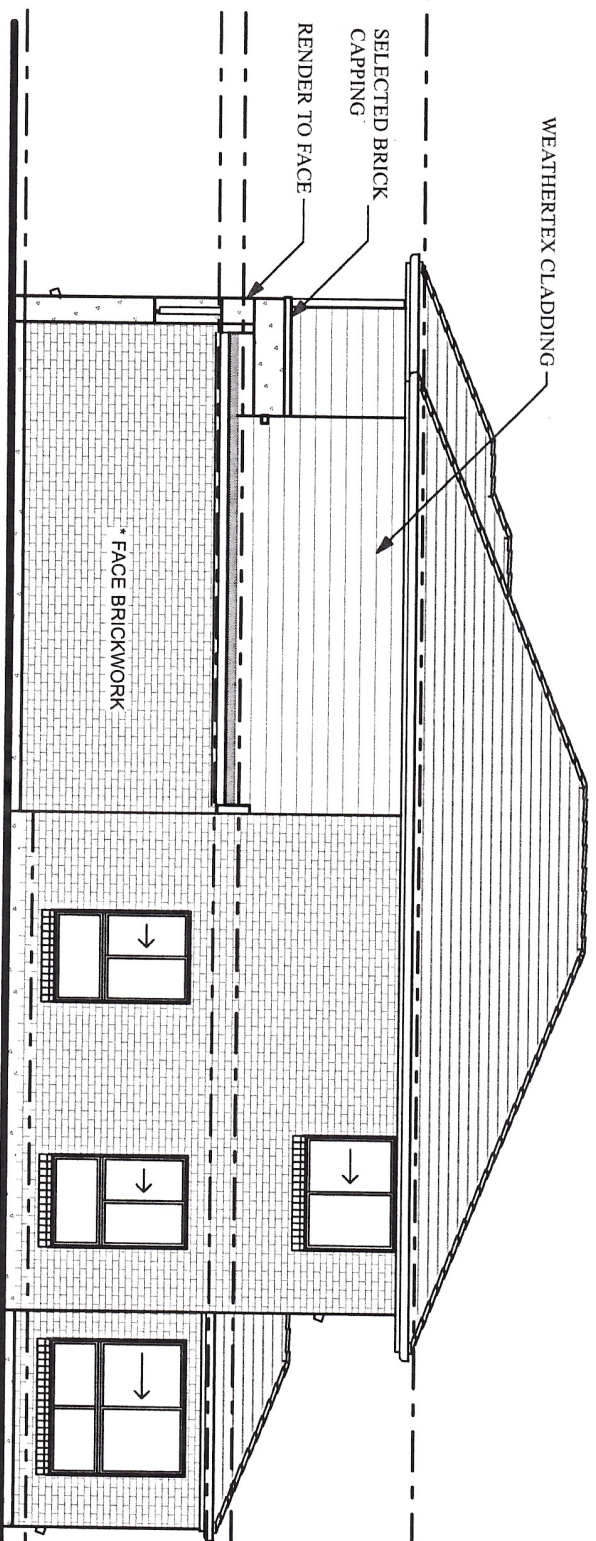
NOTE: ALL NOTES ARTICULATION JOINTS

U/S CEILING 2400

FLOOR LEVEL 0

U/S CEILING 2400

GARAGE FLOOR LEVEL -170



# RIGHT ELEVATION

EAST

SCALE 1:100

DATE	AMENDMENTS	COPIES
04/12/06	SKETCH PLAN	1 TO SALES



**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

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ALL EXTERNAL WALLS 240mm  
 UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm  
 UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY

?? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA	131.40m <sup>2</sup>
GROUND FLOOR:	118.95m <sup>2</sup>
GARAGE:	3.81m <sup>2</sup>
PORCH:	3.05m <sup>2</sup>
PERGOLA:	N/A
VERANDAH:	291.81m <sup>2</sup>
TOTAL:	??,??m <sup>2</sup>
SITE AREA	??%
SITE COVERAGE:	??%

**MODIFIED**  
**GORTON 250**  
**"CONTEMPORARY"**

DRAWN: RP  
 CHECKED:

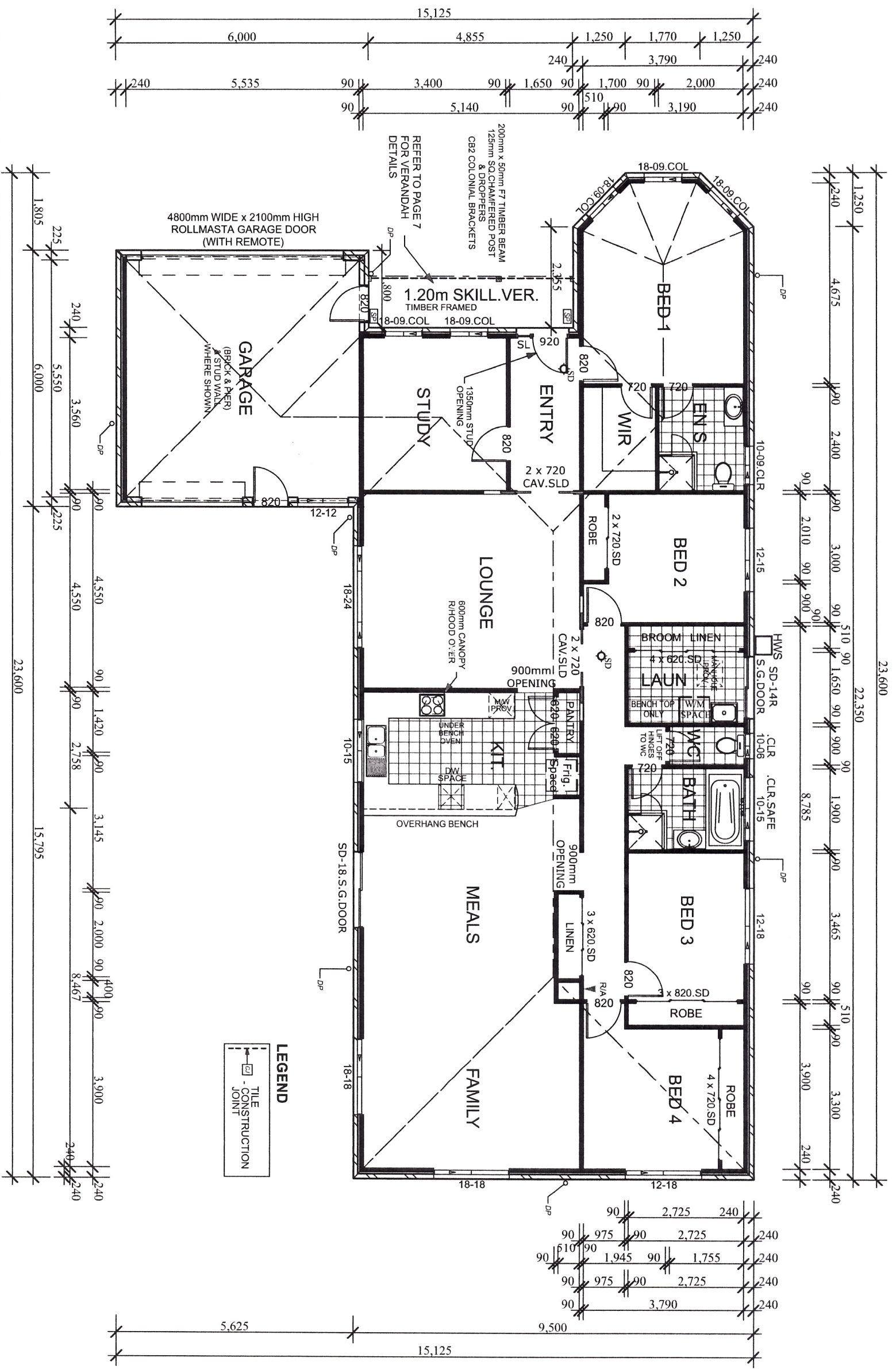
**PROPOSED RESIDENCE FOR**  
**GLEN WAVERLEY UNITING CHURCH AT**  
**LOT 17 SOUTHDOWN AVE.**  
**GLEN WAVERLEY**

DATE: 04/12/2006

JOB No: M608155

SHEET No: 5 of 6

# SKETCH ONLY



ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

**CLASSIC INCLUSIONS TO RESIDENCE**

CONCRETE TILE ROOFING @ 23° PITCH  
STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1 PER 60M<sup>2</sup> OF ROOF AREA AND NO MORE THAN 12M CENTRES MAX. EXCLUDING BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS  
INSULATION AS PER BUILDING SPECIFICATION.

ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES  
ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED  
NO EAVE FROM BRICKWORK

NOTE: A.J DENOTES ARTICULATION JOINTS

**ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS**

VERANDAH ROOFS ARE DESIGNED TO CARRY ROOFING MATERIALS ONLY AND ARE NOT TO BE WALKED ON AT ANY TIME.

LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONNECTION TO PLACEMENT OF CENTRAL HEATING UNIT.

BRICKWORK OVER ALL OPENINGS TO FRONT OF RESIDENCE. (EXCLUDING GARAGE VEHICLE ACCESS DOOR), HARD-PLANK CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE WINDOWS AND P/A DOORS).

PLINTH STRETCHER BRICKS TO ALL RESIDENCE DOOR THRESHOLDS ONLY FOR DOOR OPENINGS THAT ARE IN BAGGED OR RENDERED WALLS)

## GROUND FLOOR PLAN

SCALE 1:100

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic, 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355

Quantity  
Endorsed  
Company  
and  
Professional  
Seal

TERMITTE PRONE AREA:	YES/NO
FLOOD PRONE AREA:	YES/NO
BUSHFIRE PRONE AREA:	YES/NO
WIND SPEED IF AVAILABLE:	N1/N2/N3
ALPINE AREA:	NO

ALL EXTERNAL WALLS 240mm  
UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm  
UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
??? LINEAL METRES OF  
STEEL FRAME (APPROX ONLY.)

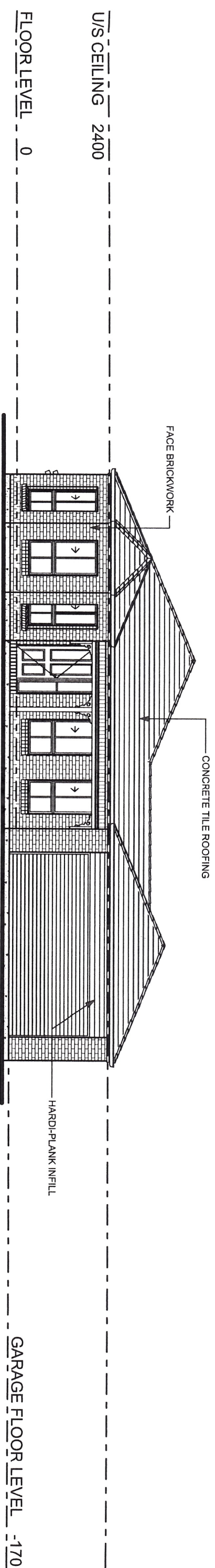
AREA GROUND FLOOR:	203.12m <sup>2</sup>
GARAGE:	35.09m <sup>2</sup>
VERANDAH:	5.83m <sup>2</sup>
TOTAL:	244.04m <sup>2</sup>
SITE AREA	N/A
SITE COVERAGE:	N/A

DRAWN:	RKA
CHECKED:	
DATE:	5/12/2006

**PROPOSED RESIDENCE FOR  
UNITING CHURCH AT  
15 SOUTHDOWN AVENUE  
GLEN WAVERLY**

JOB No.: M608154 SHEET No.: 2 of 4

# SKETCH ONLY

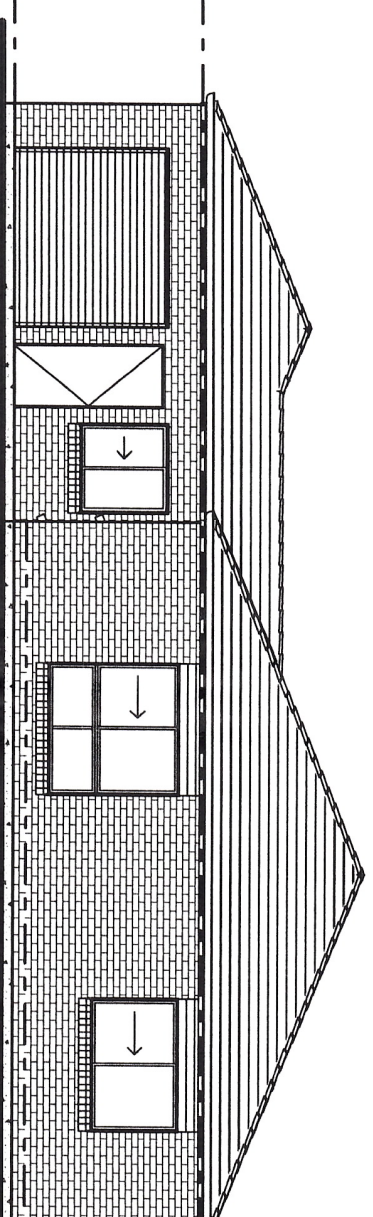


## FRONT ELEVATION

SOUTH

SCALE 1:100

U/S CEILING 2400  
 FLOOR LEVEL 0  
 GARAGE FLOOR LEVEL -170



## REAR ELEVATION

NORTH

SCALE 1:100

CONCRETE TILE ROOFING @ 23° PITCH  
 STEEL TRUSSES @ 900 CTRS. MAX.  
 DOWNPIPES TO BE PROVIDED AT 1  
 PER 60m<sup>2</sup> OF ROOF AREA AND NO MORE  
 THAN 12m CENTRES MAX. EXCLUDING  
 BOX GUTTER AND RAINHEADS  
 CEILING & WALL INSULATION TO BE INSTALLED  
 AS PER F6 VICTORIAN BUILDING CODE OF  
 AUSTRALIA REGULATIONS.  
 INSULATION AS PER BUILDING SPECIFICATION

ALL WINDOWS TO BE ALUMINIUM FRAMED  
 WITH SLIDING SASHES.  
 ALL GLAZING TO COMPLY WITH  
 A.S. 1288-2006 (WINDOWS & DOORS)  
 THERMALLY IMPROVED  
 NO EAVE FROM BRICKWORK  
 NOTE: A.J DENOTES ARTICULATION JOINTS

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES



**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph. (03) 9686 3344 Fax: (03) 9686 3355



TERMITE PRONE AREA: YES/NO  
 FLOOD PRONE AREA: YES/NO  
 BUSHFIRE PRONE AREA: YES/NO  
 WIND SPEED IF AVAILABLE: N1/N2/N3  
 ALPINE AREA: NO

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ALL EXTERNAL WALLS 240mm  
 UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm  
 UNLESS OTHERWISE SPECIFIED.  
 OFFICE USE ONLY  
 ??? LINEAL METRES OF  
 STEEL FRAME (APPROX ONLY)

AREA  
 GROUND FLOOR: 203.12m<sup>2</sup>  
 GARAGE: 35.09m<sup>2</sup>  
 VERANDAH: 5.83m<sup>2</sup>  
 TOTAL: 244.04m<sup>2</sup>  
 SITE AREA  
 SITE COVERAGE: N/A

**MODIFIED  
 MALVERN**

**PROPOSED RESIDENCE FOR  
 UNITING CHURCH AT  
 15 SOUTHDOWN AVENUE  
 GLEN WAVERLY**

DRAWN: RKA

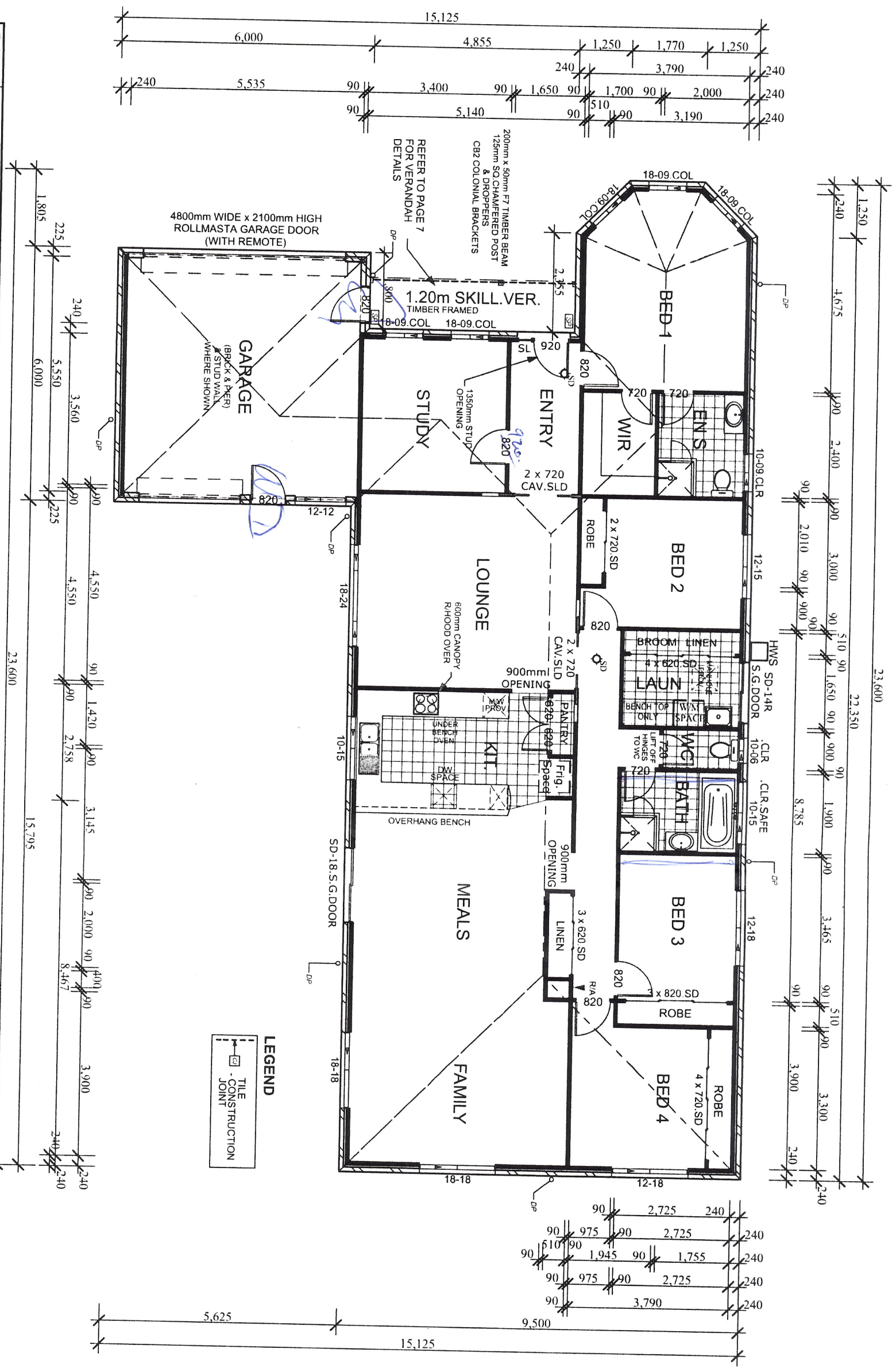
CHECKED:

DATE: 5/12/2006

JOB No: M608154

SHEET No: 3 of 4

# SKETCH ONLY



## GROUND FLOOR PLAN

SCALE 1:100

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

**J.G.KING Homes Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic. 3205  
 Ph. (03) 9686 3344 Fax. (03) 9686 3355

TERMITTE PRONE AREA: YES/NO  
 FLOOD PRONE AREA: YES/NO  
 BUSHFIRE PRONE AREA: YES/NO  
 WIND SPEED IF AVAILABLE: N/N/N/N/N  
 ALPINE AREA: NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.

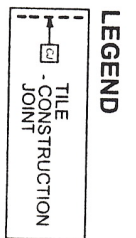
OFFICE USE ONLY  
 777 LINEAL METRES OF STEEL FRAME (APPROX ONLY)

AREA GROUND FLOOR: 203.12m<sup>2</sup>  
 GARAGE: 35.09m<sup>2</sup>  
 VERANDAH: 5.83m<sup>2</sup>  
 TOTAL: 244.04m<sup>2</sup>

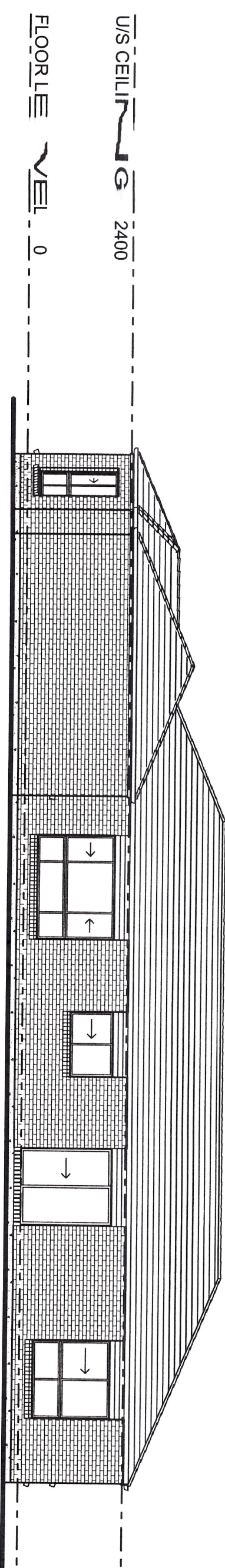
**MODIFIED MALVERN**  
 PROPOSED RESIDENCE FOR UNITING CHURCH AT 15 SOUTHDOWN AVENUE GLEN WAVERLY

DRAWN: RKA	CHECKED:	DATE: 5/12/2006	JOB No: M608154	SHEET No: 2 of 4
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ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALLS PER A.S. 3740  
 SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.  
**CLASSIC INCLUSIONS TO RESIDENCE**  
 CONCRETE TILE ROOFING @ 23° PITCH  
 STEEL TRUSSES @ 900 CTRS. MAX.  
 DOWNPIPES TO BE PROVIDED AT 1 PER 60m<sup>2</sup> OF ROOF AREA AND NO MORE THAN 12m CENTRES MAX. EXCLUDING BOX GUTTER AND RAINHEADS  
 CEILING & WALL INSULATION TO BE INSTALLED AS PER F6 VICTORIAN BUILDING CODE OF AUSTRALIA REGULATIONS  
 INSULATION AS PER BUILDING SPECIFICATION.  
 ALL WINDOWS TO BE ALUMINIUM FRAMED WITH SLIDING SASHES  
 ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (WINDOWS & DOORS) THERMALLY IMPROVED  
 NO EAIVE FROM BRICKWORK  
 NOTE: A.J DENOTES ARTICULATION JOINTS  
 ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS  
 VERANDAH ROOFS ARE DESIGNED TO CARRY ROOFING MATERIALS ONLY AND ARE NOT TO BE WALKED ON AT ANY TIME.  
 LOCATION OF MANHOLE TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONNECTION TO PLACEMENT OF CENTRAL HEATING UNIT.  
 BRICKWORK OVER ALL OPENINGS TO FRONT OF RESIDENCE. (EXCLUDING GARAGE VEHICLE ACCESS DOOR, HARD-PLANK CLADDING ABOVE ALL OTHER OPENINGS. (EXCLUDING GARAGE WINDOWS AND P/A DOORS).  
 PLINTH STRETCHER BRICKS TO ALL RESIDENCE DOOR THRESHOLDS (ONLY FOR DOOR OPENINGS THAT ARE IN BAGGED OR RENDERED WALLS)



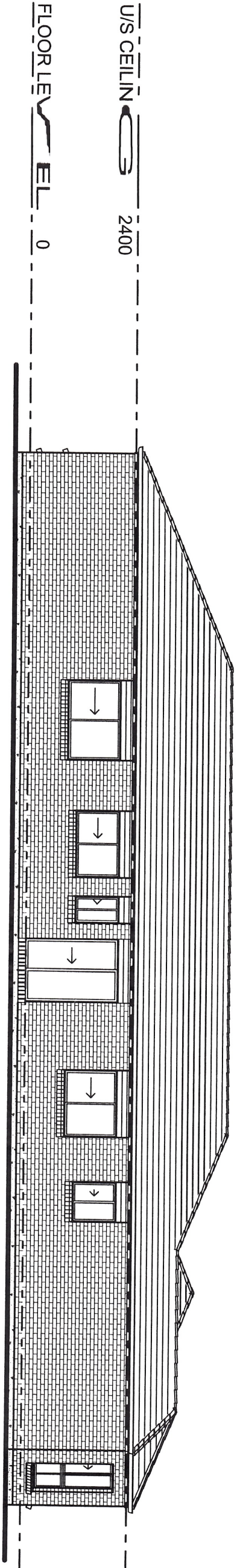
# SKETCH ON



## RIGHT ELEVATION

EAST

SCALE 1:100



## LEFT ELEVATION

WEST

SCALE 1:100

CONCRETE TILE ROOFING @ 23° PI  
STEEL TRUSSES @ 900 CTRS. MAX.

DOWNPIPES TO BE PROVIDED AT 1  
PER 60m<sup>2</sup> OF ROOF AREA AND NO W  
THAN 12m CENTRES MAX. EXCLUDI  
BOX GUTTER AND RAINHEADS

CEILING & WALL INSULATION TO BE  
AS PER F6 VICTORIAN BUILDING CO  
AUSTRALIA REGULATIONS  
INSULATION AS PER BUILDING SPEC

ALL WINDOWS TO BE ALUMINIUM FR  
WITH SLIDING SASHES  
ALL GLAZING TO COMPLY WITH  
AS 1288-2006 (WINDOWS & DOORS)  
THERMALLY IMPROVED

NO EAVE FROM BRICKWORK

NOTE: A.J. DENOTES ARTICULATION.

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

**J. KING HOMES**  
**J. KING HOMES Melbourne**  
 91 Montague Street,  
 South Melbourne, Vic, 3205  
 Ph (03) 9686 3344 Fax (03) 9686 3355

Quality Endorsed Company

TERMITTE PRONE AREA: YES/NO  
 FLOOD PRONE AREA: YES/NO  
 BUSHFIRE PRONE AREA: YES/NO  
 WIND SPEED IF AVAILABLE: N1/N2/N3  
 ALPINE AREA: NO

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ALL EXTERNAL WALLS 240mm  
 UNLESS OTHERWISE SPECIFIED.  
 ALL INTERNAL WALLS 90mm  
 UNLESS OTHERWISE SPECIFIED.

OFFICE USE ONLY  
 ??? LINEAL METRES OF  
 STEEL FRAME (APPROX ONLY)

AREA GROUND FLOOR: 203.12m<sup>2</sup>  
 GARAGE: 35.09m<sup>2</sup>  
 VERANDAH: 5.83m<sup>2</sup>  
 TOTAL: 244.04m<sup>2</sup>

SITE AREA: N/A  
 SITE COVERAGE: N/A

MODIFIED MALVERN

RKA CHECKED:

PROPOSED RESIDENCE FOR  
 UNITING CHURCH AT  
 15 SOUTHDOWN AVENUE  
 GLEN WAVERLY

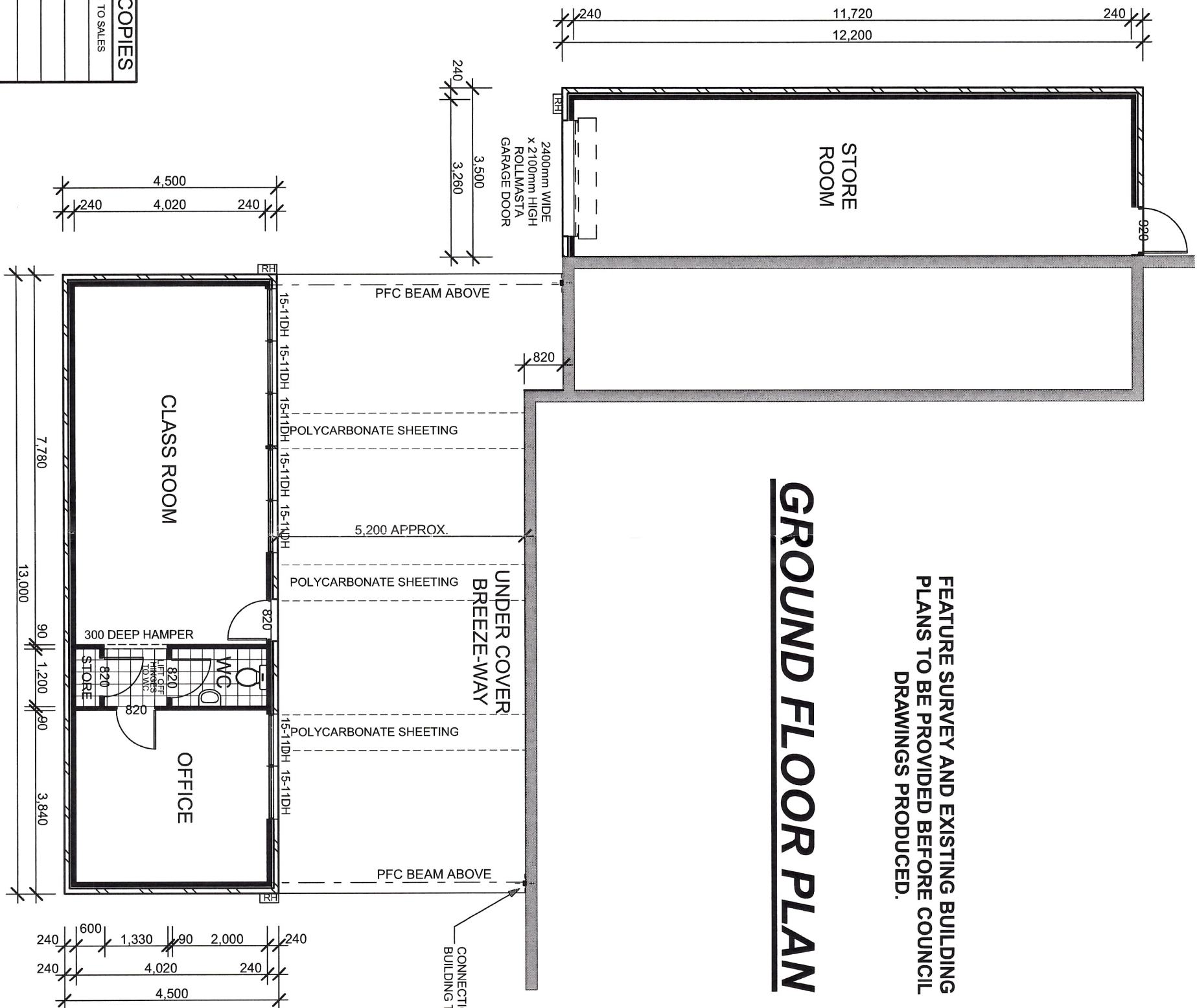
DATE: 5/12/2006 JOB No: M608154 SHEET No: 4

# SKETCH ONLY

FEATURE SURVEY AND EXISTING BUILDING  
PLANS TO BE PROVIDED BEFORE COUNCIL  
DRAWINGS PRODUCED.

## GROUND FLOOR PLAN

SCALE 1:100



ALL WET AREAS TO BE COVERED BY IMPERVIOUS FLOOR & WALL AS PER A.S. 3740

SMOKE DETECTION DEVICE TO BE INSTALLED ADJACENT TO BEDROOM AREAS IN ACCORDANCE WITH A.S. 3786.

CLASSIC INCLUSIONS TO RESIDENCE

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PLINTH STRETCHER BRICKS TO ALL RESIDENCE DOOR THRESHOLDS (ONLY FOR DOOR OPENINGS THAT ARE IN BAGGED OR RENDERED WALLS)

DATE	AMENDMENTS	COPIES
05/12/2006	SKETCH PLANS COMPLETED	1 TO SALES

**J.G.KING Homes Melbourne**  
91 Montague Street,  
South Melbourne, Vic, 3205  
Ph. (03) 9686 3344 Fax. (03) 9686 3355



TERMITTE PRONE AREA: YES/NO  
FLOOD PRONE AREA: YES/NO  
BUSHFIRE PRONE AREA: YES/NO  
WIND SPEED IF AVAILABLE: N1/N2/N3  
ALPINE AREA: NO

ALL EXTERNAL WALLS 240mm UNLESS OTHERWISE SPECIFIED.  
ALL INTERNAL WALLS 90mm UNLESS OTHERWISE SPECIFIED.  
OFFICE USE ONLY  
?? LINEAL METRES OF STEEL FRAME (APPROX ONLY.)

AREA GROUND FLOOR: 58.50m<sup>2</sup>  
BREEZE-WAY: 69.62m<sup>2</sup>  
STORE ROOM: 42.70m<sup>2</sup>  
TOTAL: 170.82m<sup>2</sup>  
SITE AREA: N/A  
SITE COVERAGE: N/A

**CUSTOM**

PROPOSED OUTBUILDING & STORE ROOM  
UNITING CHURCH AT  
CORNERS OF BOGONG AVENUE AND  
KINGS WAY, GLEN WAVERLY